

ALAMEDA COUNTY
DESIGN GUIDELINES

Multi-Family Residential and Mixed-Use

Prepared for

Alameda County
Community Development Agency

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and



June 29, 2009

ALAMEDA COUNTY DESIGN GUIDELINES: MULTI-FAMILY RESIDENTIAL AND MIXED-USE

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INTRODUCTION

OVERVIEW

The focus of this paper is projects that include multi-family residential units, defined as stacked units on multiple floors accessed through common entrances. They may be apartments or condominiums, and they may be in residential areas, or in commercial areas that allow mixed-use.

Multi-family residential may be located in specific zoning districts. R-3 and R-4 were the original multi-family zones in the unincorporated areas of Alameda County. Today, the R-3 and R-4 zones are not applied to many sites anymore. The few sites that are zoned R-3 and R-4 are concentrated between 164th to 165th Avenue at East 14th Street in Ashland.

The predominant zones for multi-family are in the following R-S districts: R-S-D20, R-S-DV, R-S-D3, and R-S-D15. Sites zoned R-S-D20 are primarily located in the eastern part of Castro Valley, north of Castro Valley Boulevard. R-S-DV sites, a fairly new zone, are located in the southern part of Cherryland and in Hayward Acres. Sites zoned R-S-D3 are located in Cherryland along Meekland Avenue. R-S-D15 sites are primarily located in Ashland, around 163rd Avenue. In addition, multi-family is also allowed in the Castro Valley Business District Zone 11, which is located south of Castro Valley Boulevard. (See zoning map in Section 1.)

Mixed-use sites are in commercial areas, primarily along East 14th Street in the Ashland Cherryland Business District (ACBD), and along Castro Valley Boulevard covered by the Castro Valley Central Business District (CVBD) Specific Plan. Within the ACBD, the Transit Access (TA), Transit Corridor (TC) and Residential/Commercial (RC) zones accommodate mixed-use. Within the CVBD, mixed-use development is allowed in Subareas 7, 8, 9, and 10. In addition, the Mixed-Use Residential/Commercial District (M-U) allows for mixed-use but the District currently only applies to a few parcels with new development. Mixed-use development is also allowed within the San Lorenzo Village Center which is along Hesperian Boulevard.

Mixed-use projects include retail, restaurants, office or service uses on the ground floor along commercial streets, and residential units either behind and/or on upper floors.

MAJOR ISSUES

The existing zoning standards for multi-family residential projects are minimal, compared to the detailed standards and guidelines used in comparable East Bay cities. The standards for setbacks and height are often the same in different zoning districts, even though the densities are very different.

The specific plans that govern Castro Valley and Ashland/Cherryland include design standards and guidelines, but do not provide the full set of standards and guidelines that are needed for project review. The Specific Plans establish certain requirements, and also state that other requirements are either established by existing zoning or through the Site Development Review process. The full set of requirements that applies to a particular project site is often not clear.

Only a few multi-family apartment and condominium projects have been built in the past ten years. Small lot single-family and townhome development has been the predominant type of residential development. This report presents photos and drawings of a few recent examples. The examples highlight many design issues that need to be addressed. The most critical issues relate to requirements for open space and landscaping, and related limits on lot coverage.

ORGANIZATION OF THIS REPORT

This report is organized into the following sections. The recommendations presented in Section 4 are based on an analysis of existing County development standards and guidelines, development standards and guidelines used in other comparable cities, and recent multifamily residential and mixed-use development projects.

- Section 1: Existing Zoning Regulations
- Section 2: Recent Project Examples – Multi-Family Residential
- Section 3: Recent Project Examples – Mixed-Use
- Section 4: Analysis and Recommendations

Recommendations in this report are intended to be the basis for discussion and public input. The public input that stems from these recommendations will assist in the development of draft design guidelines which will then also be open to public input.



EXISTING ZONING REGULATIONS

Existing Zoning Districts

R-3 and R-4 were the original multi-family zones in the unincorporated areas of Alameda County. Today, the R-3 and R-4 zones are not applied to many sites anymore. The predominant zones for multi-family are in the following R-S districts: R-S-D20, R-S-DV, R-S-D3, and R-S-D15. Mixed-use development is allowed in the Mixed-Use Residential/Commercial District (M-U) district, Ashland Cherryland Business District (ACBD) and Castro Valley Business District (CVBD). The zoning map on the next page shows all the urbanized areas in the County that are zoned for: (1) multi-family residential development; and (2) mixed-use development that includes residential units.

R-3/R-4/R-S DISTRICTS:

- R-S-DV: 12.5 Units/Acre or 22 Units/Acre (Min Lot Width of 100' and Min Lot Area of 20,000 sf)
- R-S-D20: 22 Units/Acre
- R-3: 22 Units/Acre
- R-S-D3: 12-29 Units/Acre
- R-S-D15: 29 Units/Acre
- R-4: 35 Units/Acre

M-U DISTRICT:

- M-U: 12.5 Units/Acre

SPECIFIC PLANS:

- ACBD-TA 50 du/ac
- ACBD-TC: No density specified
- ACBD-RC 15-25 du/ac
- CVBD-Land Group D: 20-40 du/ac
- CVBD-Land Group E: 40-60 du/ac

Existing Development Regulations: R-S Zone and Condo Guidelines

A summary of the existing development regulations that apply to the multi-family zoning districts in the County is shown in Table 1-1 and Table 1-2. The figures following the tables illustrate the existing development standards and condominium guidelines, which are the basis for the review of most multi-family projects in Alameda County.

- Figure 1-1: R-S Development Regulations - Apartments w/ Surface Parking
- Figure 1-2: R-S Development Regulations/Condo Guidelines - Condos w/Surface Parking
- Figure 1-3: R-S Development Regulations - Apartments w/ Parking Under Building
- Figure 1-4: R-S Development Regulations/Condo Guidelines - Condos w/Parking Under Building
- Figure 1-5: R4 Development Regulations - Apartments
- Figure 1-6: Multi-Family Residential - Parking Study

**Insert Zoning Map -
11 x 17**

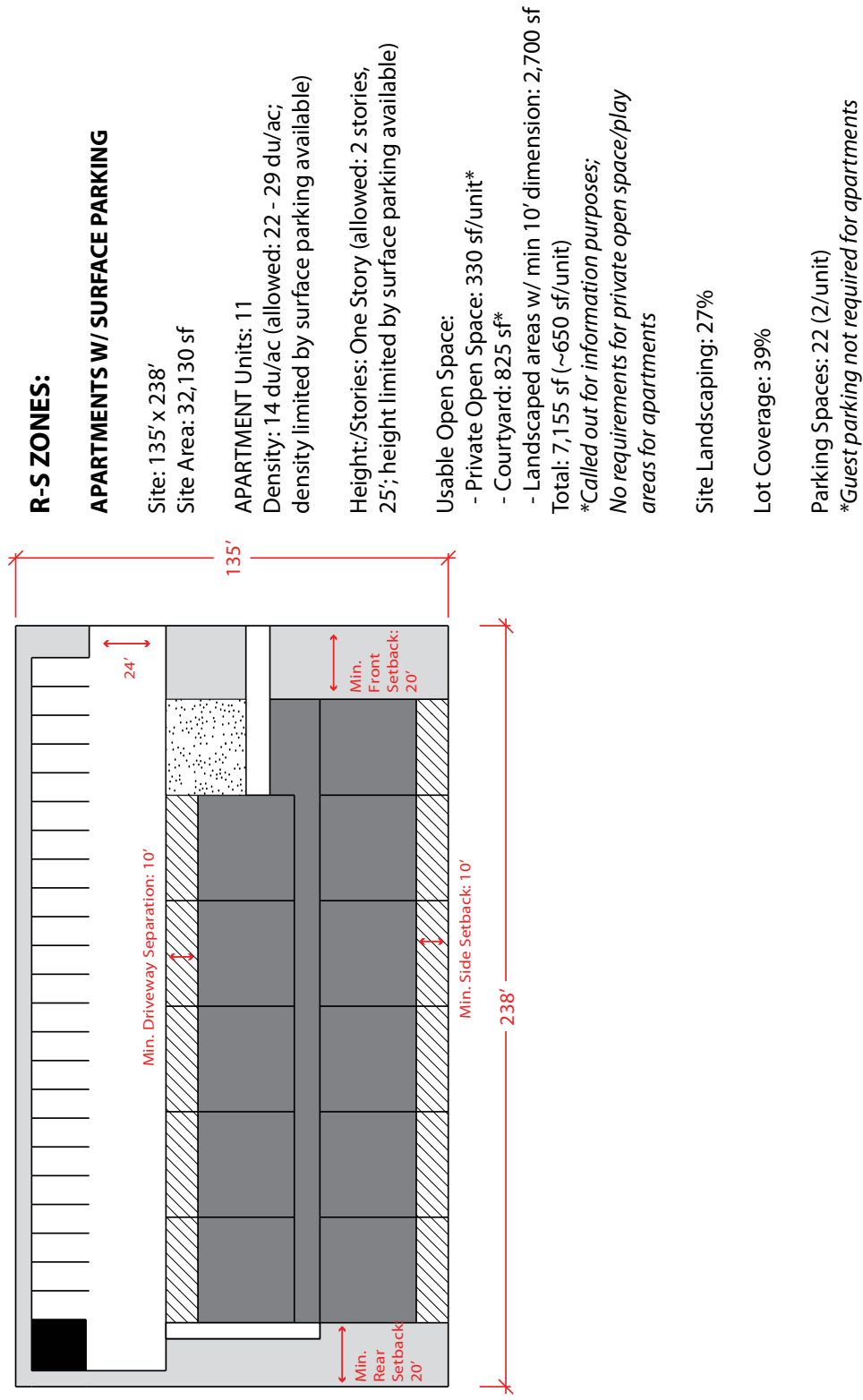
TABLE I-I: EXISTING DEVELOPMENT REGULATIONS: R-3/R-4/R-S ZONES AND CONDO GUIDELINES

Insert 11 x 17

TABLE I-2: EXISTING SPECIFIC PLAN REGULATIONS AND CONDO GUIDELINES

Insert 11 x 17

FIGURE I-1: R-S DEVELOPMENT REGULATIONS - APARTMENTS W/ SURFACE PARKING



This is an illustrative example of development potential, using typical lot sizes and multi-family residential requirements for the R-S Zones.

FIGURE I-2: R-S DEVELOPMENT REGULATIONS/CONDO GUIDELINES - CONDOS W/ SURFACE PARKING

R-S ZONES:

CONDOS W/ SURFACE PARKING

- Site: 145' x 285'
- Site Area: 41,325 sf
- CONDO Units: 12
- Density: 12 du/ac (allowed 22-29 du/ac; limited by surface parking available)
- FAR (Condo): 0.3
- Height/Stories: One Story (allowed 2 stories and 25'; limited by surface parking available)
- Usable Open Space:
 - Private Open Space on Ground (Condo): 495 sf/unit
 - Tot Lot (Condo): 1,386 sf
 - Landscaped areas w/ min 10' dimension: 3,415 sf
- Total Usable Open Space: 10,741 sf (~895 sf/unit)

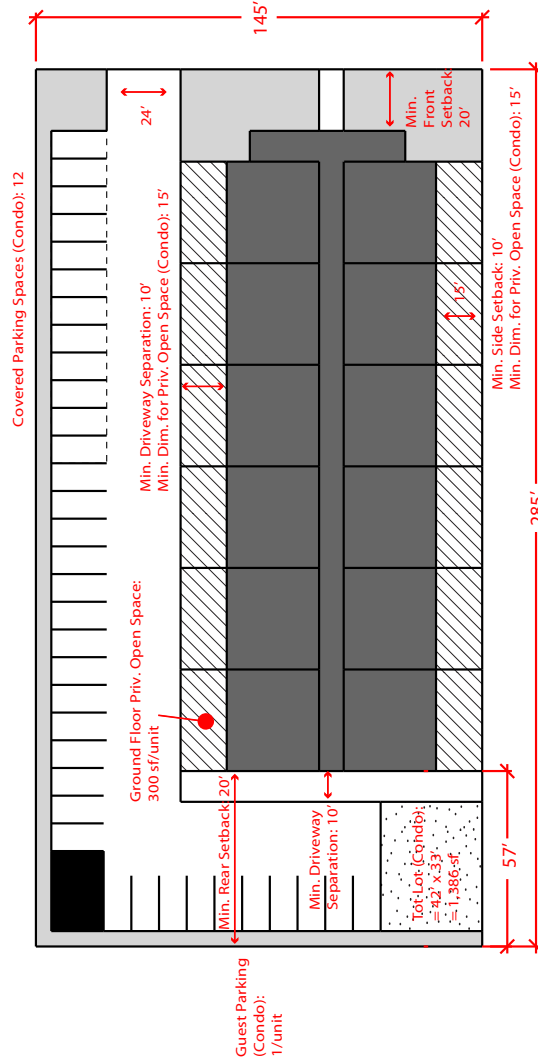
Site Landscaping: 29%

Lot Coverage: 34%

Parking Spaces:

- Residential: 24 (2/unit); 1 covered
- Guest Parking (Condo): 12 (1/unit if unit > 1,000 sf)
- Total Parking Spaces: 36

*Greater Parking Required by Condo Guidelines



This is an illustrative example of development potential, using typical lot sizes and multi-family residential requirements for the R-S Zones, in combination with the County adopted Condo Guidelines.

FIGURE I-3: R-S DEVELOPMENT REGULATIONS - APARTMENTS W/ PARKING UNDER BUILDING

R-S ZONES:

APARTMENTS W/ PARKING UNDER BUILDING

Site: 80' X 240'
 Site Area: 19,200 sf
 APARTMENT Units: 13
 Density: 29 du/ac

Height/Stories: 2 stories over parking (allowed 2 stories and 25')
 *Assumes parking is maximum 6' above grade

Usable Open Space:

- Private Open Space: 80-114 sf/unit*
 - Courtyard: 1,107 sf*
 - Landscaped areas w/ min 10' dimension: 4,505 sf
- Total: 6,686 sf (~514 sf/unit, more w/ courtyards on second floor)

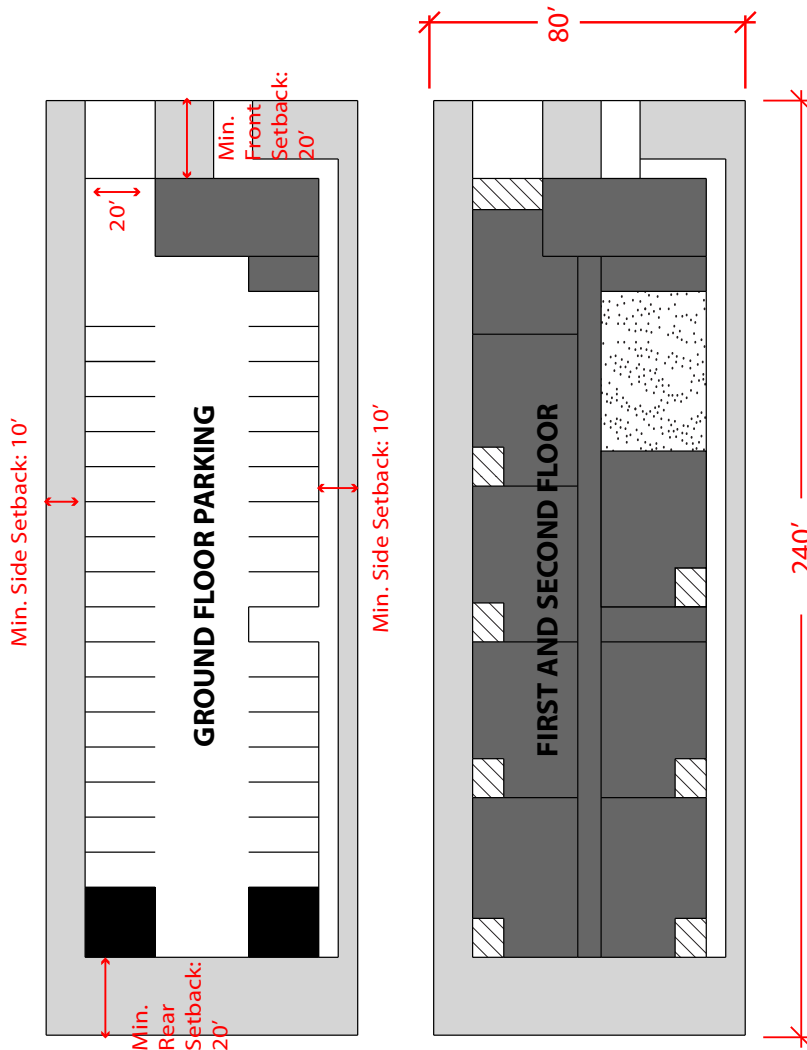
*Called out for information purposes;
 No requirements for private open space/play areas for apartments

Site Landscaping: 29%

Lot Coverage: 62%

Parking Spaces: 32 (2/unit)

*Guest parking not required for apartments



This is an illustrative example of development potential, using typical lot sizes and multi-family residential requirements for the R-S Zones.

FIGURE I-4: R-S DEVELOPMENT REGULATIONS/CONDO GUIDELINES - CONDOS W/ PARKING UNDER BUILDING

R-S ZONES:

CONDOS W/ PARKING UNDER BUILDING

Site: 80' X 240'
 Site Area: 19,200 sf
 CONDO Units: 10
 Density: 22 du/ac
 FAR (Condo): 0.54 (allowed 0.33)

Height/Stories: 2 stories (allowed 2 stories and 25')
 *Assumes parking is maximum 6' above grade

Usable Open Space:

- Private Open Space: 80 - 114 sf/unit
- Courtyard (Condo): 5,545 sf
- Landscaped areas w/ min 10' dimension: 4,505 sf
- Total: 10,918 sf (~ 1,092 sf/unit)

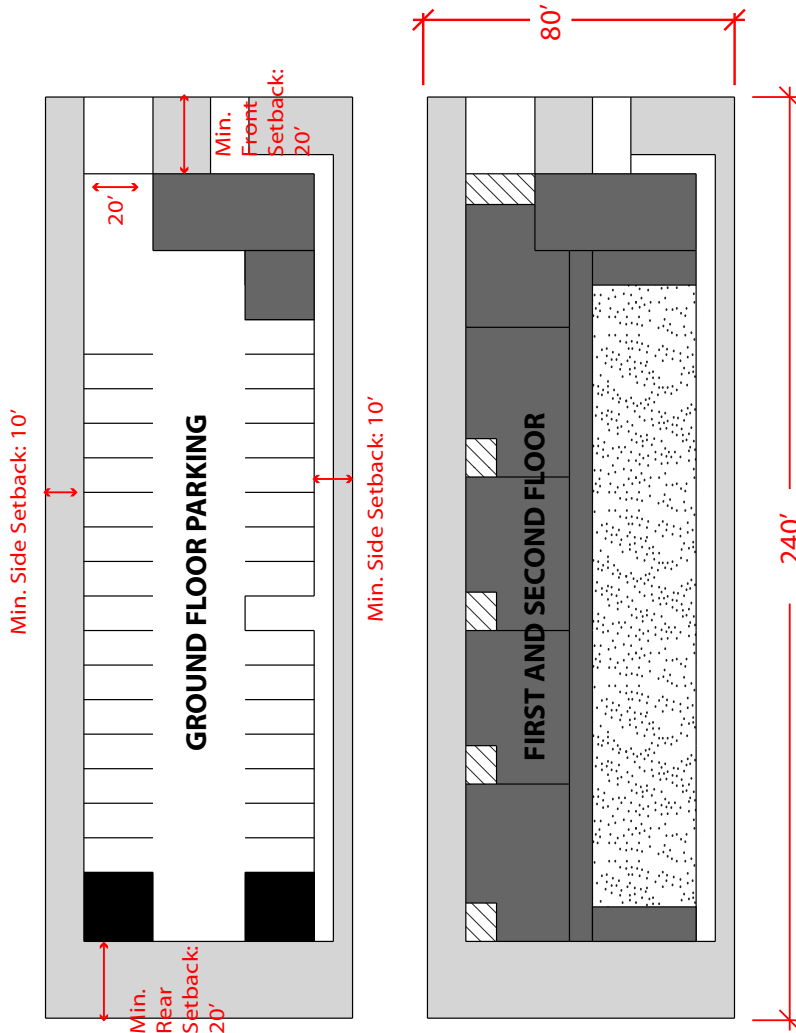
Site Landscaping: 29%

Lot Coverage: 62%

Parking Spaces:

- Residential: 20 (2/unit)
- Guest Parking (Condo): 10 (1/unit if unit > 1,000 sf)
- Total Parking Spaces: 30

**Greater Parking Required by Condo Guidelines*



This is an illustrative example of development potential, using typical lot sizes and multi-family residential requirements for the R-S Zones, in combination with the County adopted Condo Guidelines.

FIGURE I-5: R-4 DEVELOPMENT REGULATIONS - APARTMENTS

R - 4 ZONE:

APARTMENTS W/ SURFACE PARKING

Site: 140' x 272'
 Site Area: 38,080 sf

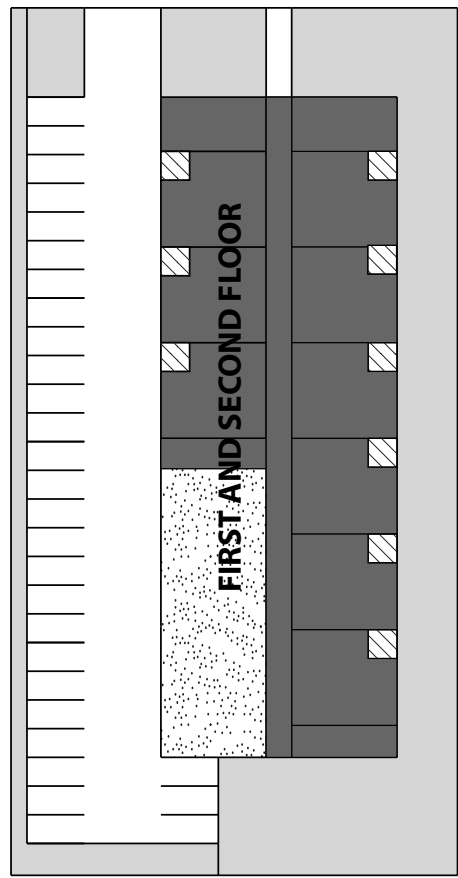
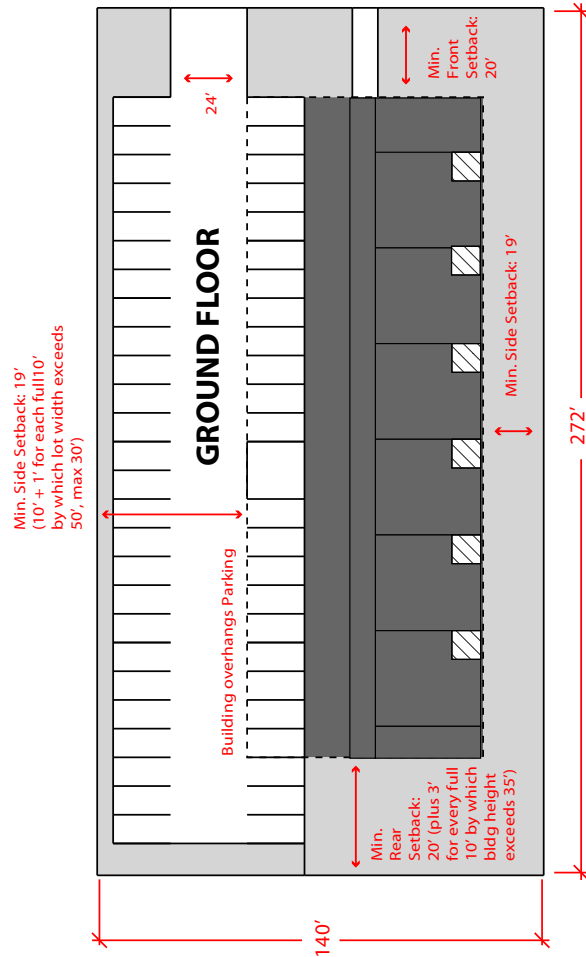
APARTMENT Units: 23
 Density: 33 du/ac

Height/Stories: 2-3

Usable Open Space:
 - Private Open Space: 80 sf/unit*
 - Courtyard: 2,970 sf*
 - Landscaped areas w/ min 10' dimension: 9,088 sf
 Total: 13,898 sf (~ 604 sf/unit)
 *Called out for information purposes;
 No requirements for private open space/
 play areas for apartments

Site Landscaping: 31%
 Lot Coverage: 40%

Parking Spaces: 46 (2/unit)
 *Guest parking not required for apartments



This is an illustrative example of development potential, using typical lot sizes and multi-family residential requirements for the R-4 Zones.

FIGURE I-6: HIGH DENSITY RESIDENTIAL - PARKING STUDY W/ EXISTING R-S REGULATIONS

**HIGH DENSITY MULTI-FAMILY RESIDENTIAL
PARKING STUDY**

Site: 140' x 272'
Site: 38,080 sf

Units Possible:

39 Apartment Units
Density = 44.8 du/ac (Specific Plan)

31 Condos < 1,000 sf
Density = 35 du/ac (Specific Plan)

26 Condos > 1,000 sf
Density = 29.89 du/ac (Specific Plan)

25 Units
Density: 29/du (RS-D20, RS-DV (29 du/ac)

21 Units
Density: 22 du/ac (RS-D15/D3 (22 du/ac)

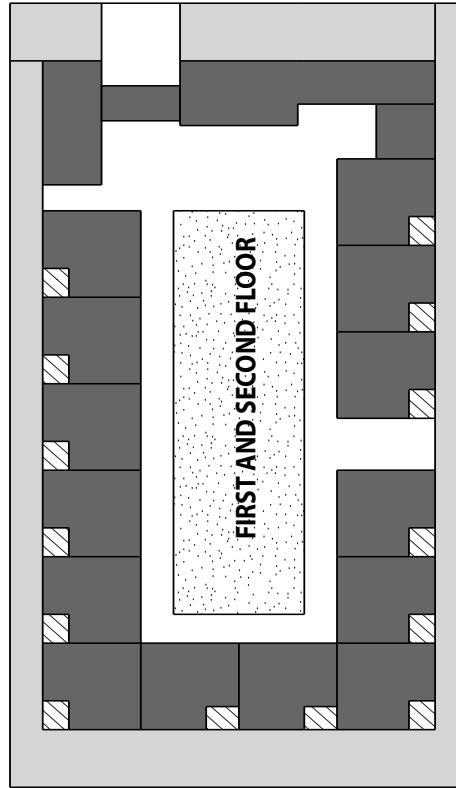
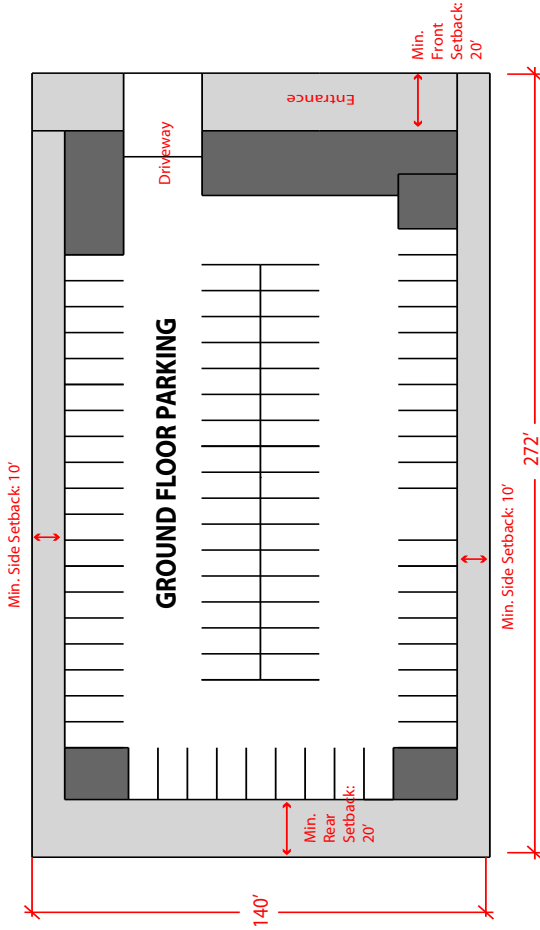
10 Units
Max FAR 1:3 (Condo Guidelines)

Open Space:
Private Open Space: 80 sf/unit
Common Open Space: 5,600 sf

Landscaping: 20%

Lot Coverage: 73%

Parking Spaces: 78



This is an illustrative example of development potential, using typical lot sizes and multi-family residential requirements.

TABLE I-3: ZONING REGULATIONS FOR OTHER CITIES: SAN LEANDRO, DUBLIN, PLEASANTON

MFR	San Leandro	Dublin	Pleasanton
	RM District	R-M	RM District
	Residential Multi-Family District	Multi-Family Residential	Multi-Family Residential
Minimum Site Area			
Interior Lot:	5,000 - 10,000 sf	5,000 sf	8,000 - 10,500 sf
Corner Lot:	6,000 - 12,000 sf	6,000 sf	
Minimum Lot Width			
Interior Lot:	60 - 100'	50'	70-80'
Corner Lot:	70 - 120'	60'	80'
Minimum Lot Frontage			
Lot Frontage:			35'
Minimum Lot Depth			
Lot Depth:		100'	100'
Maximum Lot Coverage			
Lot Coverage:	50 - 70%	1-story: 40%, 2-story: 35%	
Maximum Density			
Density:	14 - 24 du/ac	11 - 50 du/ac	
Maximum FAR			
FAR:			0.5
Maximum Building Height			
Feet:	40 - 50'	35' (4 or fewer du); 45' (5 or more du); 75' (5 or more du; lot coverage not exceed 35%)	70 - 80'
Minimum Setbacks			
Front Setback:	15'	20'	20'
Rear Setback:	15'	30'	30'
Side Setback:	Min. 6'; Avg. 10'	10'	One side 8'; Both sides 20'
Side Setback Exceptions:		15' (4 or more du)	
Street Side Setback:	15 - 20	10'	10 - 15'
Minimum Distance between Buildings:		20'	
Open Space			
Open Space:	3 or more du: 200 sf/unit	30% of net site area	300 - 400 sf/unit
Group Open Space:	300 sf/unit, min dimension 10'		300 sf/unit, min dimension 15'
	30% of rooftop open space can apply if open space on roof		20% of rooftop can apply if open space on roof
Private Open Space:	can meet open space requirement if ground floor decks/patios min 120 sf and balconies min 60 sf, min dimension 6'		ground level: min 150 sf, min dimension 10' ; above-ground level: min 50 sf, min dimension 5'
Landscaping			
	50 % interior and rear yard landscaped, min 5' planting strip along side and rear property line		

TABLE I-4: ZONING REGULATIONS FOR OTHER CITIES: MOUNTAIN VIEW

MFR	Mountain View							Mountain View		Mountain View
	R3							R4		Residential & Mixed Use
	Multiple-Family Residence							High Density Multiple-Family Residence		Applies to MFR
Minimum Site Area	12,000							1 acre		20,000
Interior Lot:	12,000							1 acre		20,000
Corner Lot:										
Combining Districts:		1 unit	2 units	3 units	4 units	5 units	Additional units			
	R3-1	5000	9000	12000	14000	15000	1000			
	R3-1.25	5000	9000	12000	14000	15250	1250			
	R3-1.5	5000	9000	12000	14000	15500	1500			
	R3-2	5000	9000	12000	14000	16000	2000			
	R3-2.2	5000	9000	12000	14200	16400	2200			
	R3-2.5	5000	9000	12000	14500	17000	2500			
	R3-3	5000	9000	12000	15000	18000	3000			
	R3-D	5000	6000	7000	8000	9000	850 square feet for each additional unit up to 30			
Minimum Lot Width	80' or 1/3 depth (up to 200' max), whichever is greater							160'		
Interior Lot:	80' or 1/3 depth (up to 200' max), whichever is greater							160'		
Minimum Lot Frontage	80' or 1/3 depth (up to 200' max), whichever is greater							80' or 1/3 depth (up to 200' max), whichever is greater		
Lot Frontage:	80' or 1/3 depth (up to 200' max), whichever is greater							80' or 1/3 depth (up to 200' max), whichever is greater		
Maximum Lot Coverage	30%									
Lot Coverage:	30%									
Other:	R3-D: 40%									
Maximum Density								60 units per acre max		43 units per acre
Density:								60 units per acre max		43 units per acre
Maximum FAR	FAR: 1.05							FAR: 1.40 max for projects that are equal to or under 40 units per acre		FAR: 1.35 max for office, retail, and housing (office portion shall not exceed .35 FAR)
FAR:								FAR: 1.95 max for projects between 41 and 50 units per acre		
								FAR: 2.30 max for projects between 51 and 60 units per acre		
Maximum Building Height	45'							52-foot maximum wall height/62-foot maximum ridge height		45' to ridge (35' to top of wall plate) except that buildings with commercial space may be 50' to ridge; lower height may be required for portions of buildings adjacent to existing residential.
Feet:	45'							52-foot maximum wall height/62-foot maximum ridge height		45' to ridge (35' to top of wall plate) except that buildings with commercial space may be 50' to ridge; lower height may be required for portions of buildings adjacent to existing residential.
Minimum Setbacks	15' but not less than height of the adjacent bldg wall as measured to the top of wall plate							15'		5' behind sidewalk
Front Setback:	15' but not less than height of the adjacent bldg wall as measured to the top of wall plate							15'		5' behind sidewalk
Rear Setback:	15' but not less than height of the adjacent bldg wall as measured to the top of wall plate, whichever is greater							15'		15' but not less than height of adjacent wall (measured to top of wall plate)
Side Setback:	15' but not less than height of the adjacent bldg wall as measured to the top of wall plate, whichever is greater							1 to 2 stories - 10'		15'
Side Setback Exceptions:								3 stories - 15'		
Street Side Setback:								15'		
Minimum Distance between Buildings:	12', or 1/2 sum of height of nearest opposing walls, including those that are portions of the same bldg separated by a court or other open space									1/2 sum of nearest opposing walls (measured to top of plate)
Open Space	55% which shall include a minimum of 40 sf of private open space (yards, decks, balconies) per unit.							30% of Site		45% including 40 square feet of private open area per unit; may reduce depending on commercial
Open Space:	55% which shall include a minimum of 40 sf of private open space (yards, decks, balconies) per unit.							30% of Site		45% including 40 square feet of private open area per unit; may reduce depending on commercial
	In R3-D areas, 35% with no private open space requirement.									
Private Open Space:	40 sf/unit							40 sf/unit		

TABLE I-5: ZONING REGULATIONS FOR OTHER CITIES: HAYWARD

Insert 11 x 17

2 **MULTI-FAMILY RESIDENTIAL: ANALYSIS OF RECENT TYPICAL PROJECTS**

This section presents the analysis of three typical recent multi-family projects in the unincorporated areas of Alameda County.

- 1575 165th Street
- 21059 Wilbeam Street
- 16438-16450 Kent Avenue

The analysis for each project includes:

- A site plan of each project, showing density, setbacks, open space, and other key development standards;
- A three-dimensional drawing of the project and the surrounding context of homes and apartments; and
- Photographs of the project
- Aerial Photos of the Project Site

FIGURE 2-I: 1575 165TH STREET PLAN

MULTI-FAMILY RESIDENTIAL - CONDO CONVERSION

1575 165th Street

Ashland

Zone: RS-D15

Units: 20

Density: 25 du/ac

Lot Coverage: 26%

Site: 100' x 347'

Site Area: 34,700 sf

Usable Open Space:

- Decks/Balconies: 75 sf/unit = 1,500 sf

- Landscaped Areas w/ min 10' dimension: 5,505 sf

Total: 7,005 sf (~350 sf/unit)

Height: ~25'

Stories: 2

Site Landscaping: 9,468 sf (27%)

Parking Spaces: 40 (Guest Parking on Street)

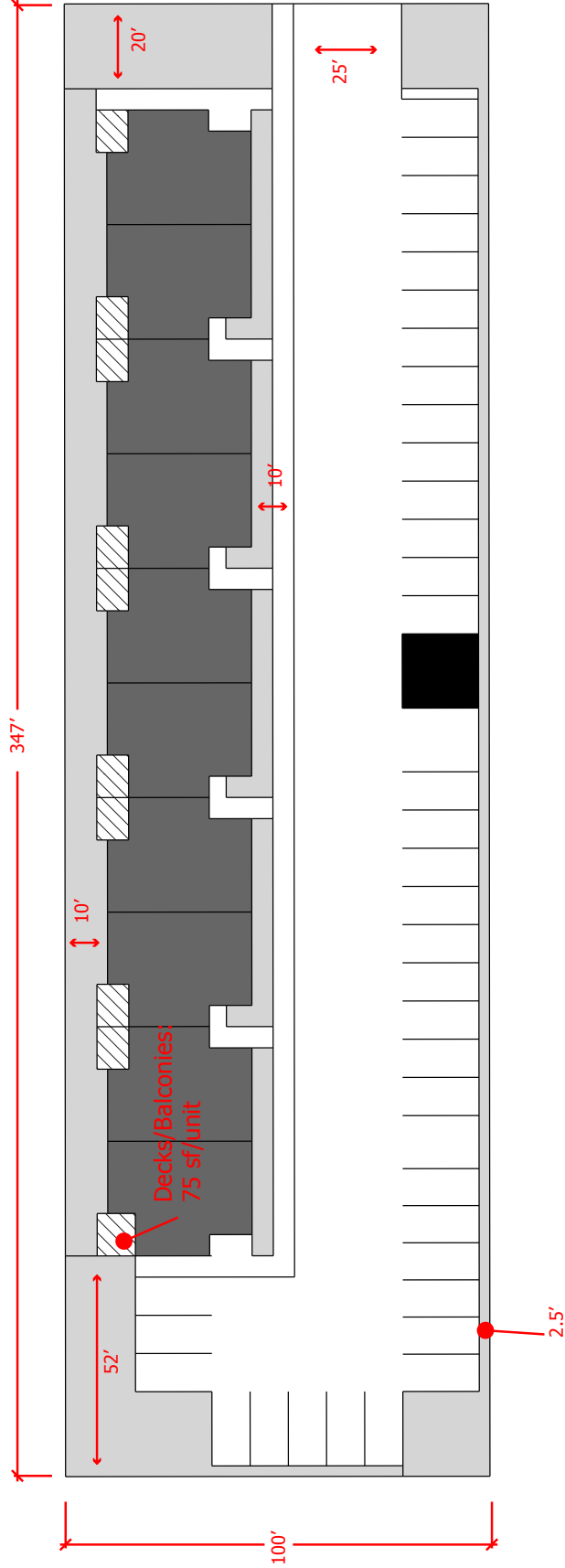
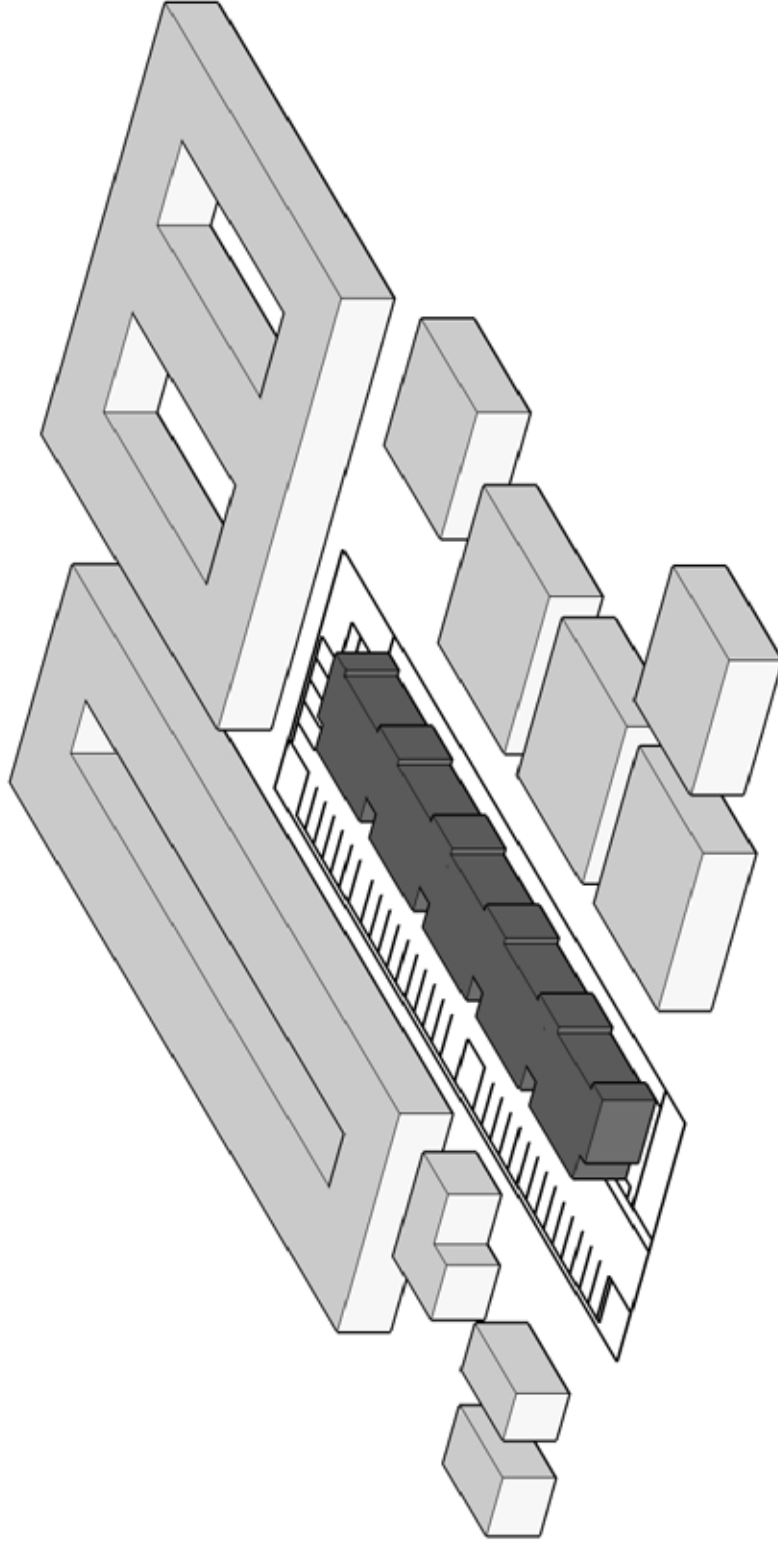


FIGURE 2-2: 1575 165TH STREET AND SURROUNDING CONTEXT

Height: 25'

Stories: 2



1575 165TH STREET



1575 165TH STREET



FIGURE 2-3: 21059 WILBEAM AVENUE PLAN

MULTI-FAMILY RESIDENTIAL
 21059 Wilbeam Avenue
 Castro Valley
 Zone: Subarea 11 (CVBD Spec Plan)

Units: 18
 Density: 36 du/ac
 Lot Coverage: 69%

Site Landscaping: 3,059 sf (14%)
 Parking Spaces: 41
 *Parking Spaces located Under Building

Site: 79.5' x 270'
 Site Area: 21,465 sf

Usable Open Space:
 - Balconies: 78 sf/unit (most units) = 1,014 sf
 - Tot Lot: 885 sf
 - Landscaped areas w/ min 10' dimension: 1,287 sf
 Total: 3,186 (~177 sf/unit)

Height: ~ 30'
 Stories: 2-3

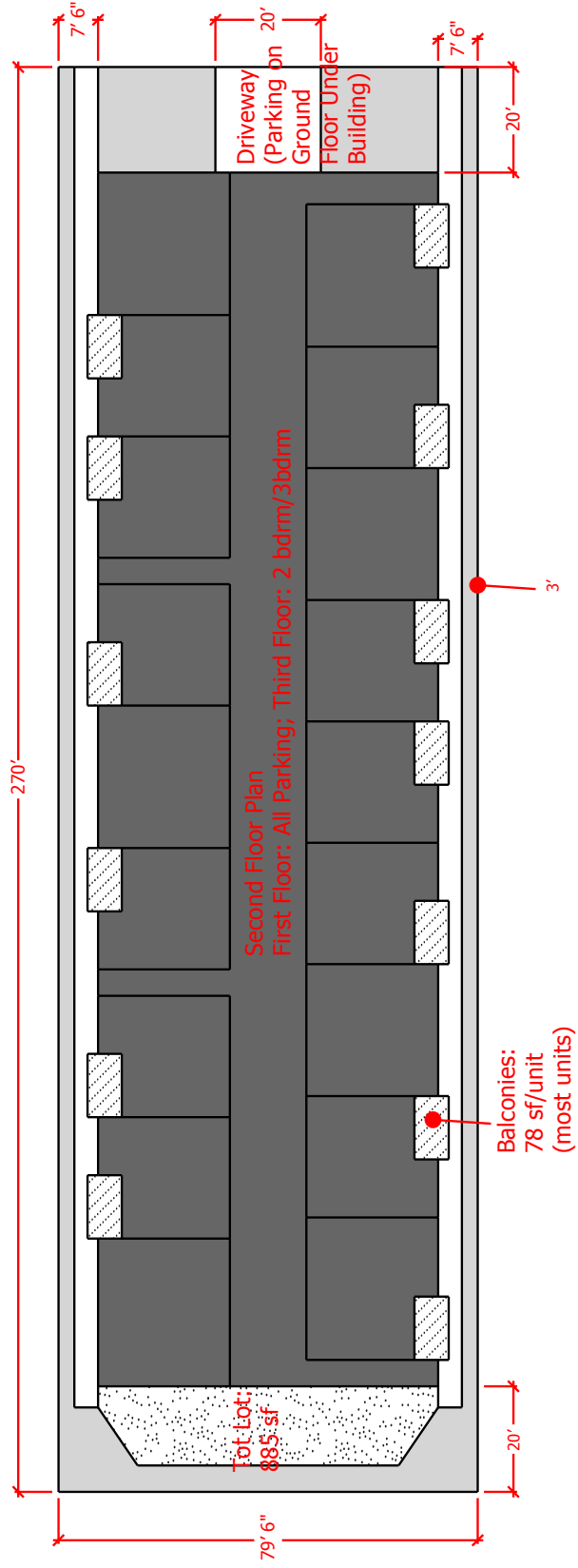
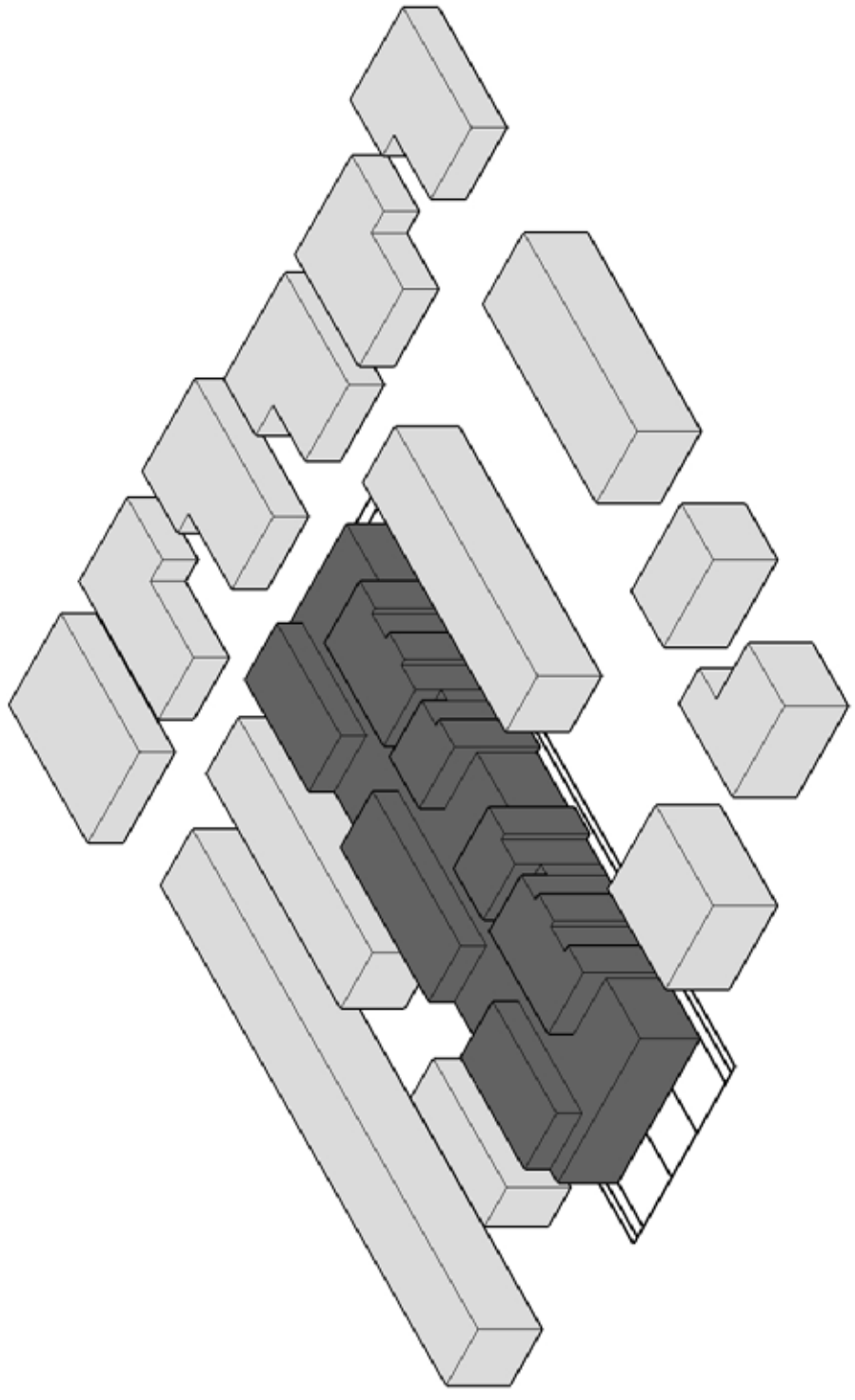


FIGURE 2-4: 21509 WILBEAM AVNUE AND SURROUNDING CONTEXT

Height: 32

Stories: 2-3



21509 WILBEAM AVENUE



21509 WILBEAM AVENUE



FIGURE 2-5: 16438-16450 KENT AVENUE

MULTI-FAMILY RESIDENTIAL
 16438-16450 Kent Avenue
 (Senior Housing)
 Ashland
 Zone: PD

Units: 84
 Density: 40 du/ac
 Lot Coverage: 26%

Site Landscaping: 21,864 sf (24%)
 Parking Spaces: 60
 (reduced ratio of 1.4 spaces/unit
 for senior housing)

Usable Open Space:
 - Decks/Balconies: 90 sf/unit = 7,560 sf
 - Garden: 3,210 sf
 - Landscaped areas w/ min 10' dimensions: 11,016 sf
 Total 21,786 sf (~545 sf/unit)

Site: ~172 x 660'
 Site Area: 93,000 sf
 Height: 38'
 Stories: 3

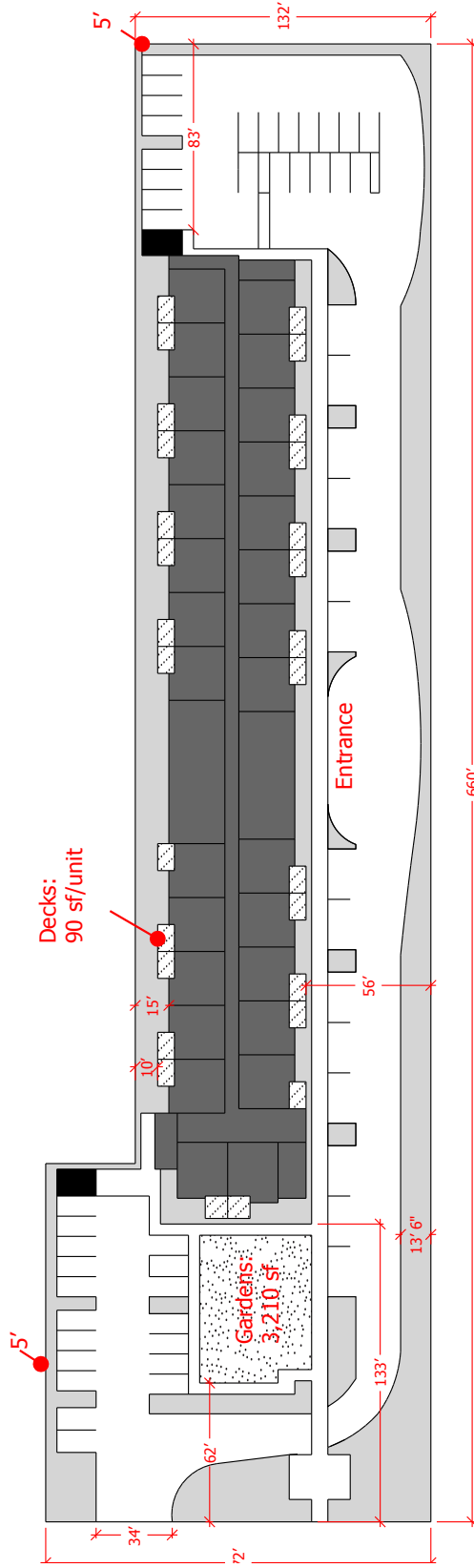
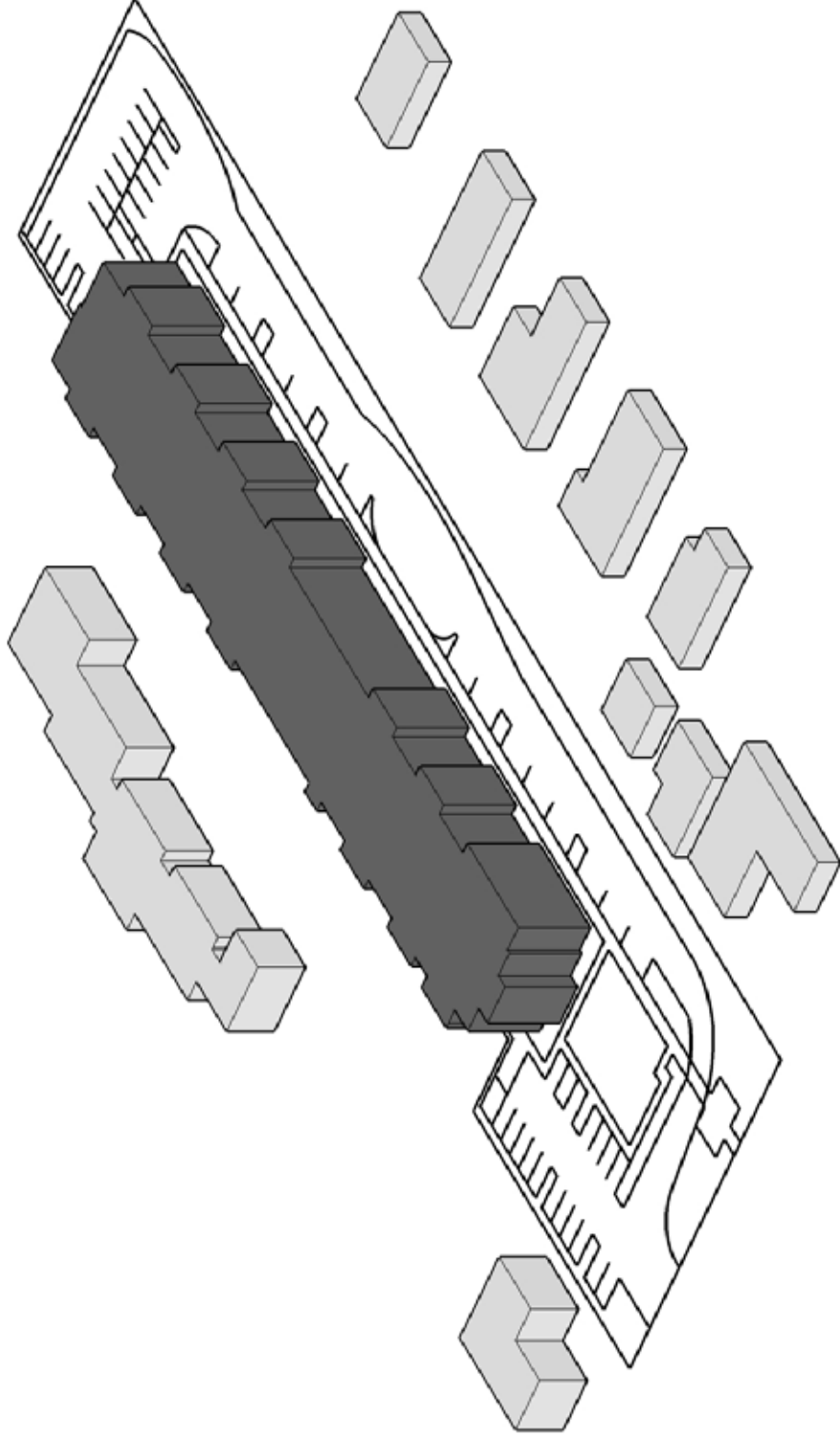


FIGURE 2-6: 16438-16450 KENT AVENUE AND SURROUNDING CONTEXT

Height: 34'

Stories: 3



16438-16450 KENT AVENUE



16438-16450 KENT AVENUE



3 **MIXED USE: ANALYSIS OF RECENT TYPICAL PROJECTS**

This section presents the analysis of two typical recent mixed-use projects in the unincorporated areas of Alameda County.

- 16006 East 14th Street
- 15954-15960 East 14th Street

The analysis for each project includes:

- A site plan of each project, showing density, setbacks, open space, and other key development standards;
- A three-dimensional drawing of the project and the surrounding context of homes and apartments; and
- Photographs of the project
- Aerial Photos of the Project Site

FIGURE 3-I: 16006 EAST 14TH STREET PLAN

MIXED-USE - CONDO CONVERSION
 16006 East 14th Street
 Ashland
 Zone: TA (ACBD Spec Plan)

Site: 125' x 371'
 Site Area: 46,375 sf

Height:
 Commercial: Ground Floor
 Residential: ~30'
 Stories: 3

Commercial: 1,533 sf
 Residential: 44 units
 Res Density: 41 du/ac
 Lot Coverage: 59%

Usable Open Space:
 - Balconies: 93.75 sf/unit = 4,125 sf
 - Common Open Space: 5,863 sf
 - Landscaped areas w/ min 10' dimensions: 4,813 sf
 Total: 14,801 sf (~ 336 sf/unit)

Site Landscaping: 8,232 sf (18%)

Parking Spaces:
 Residential: 68 (Half Tandem)
 Commercial: 6
 Total: 75
 *Parking Spaces located Under Building

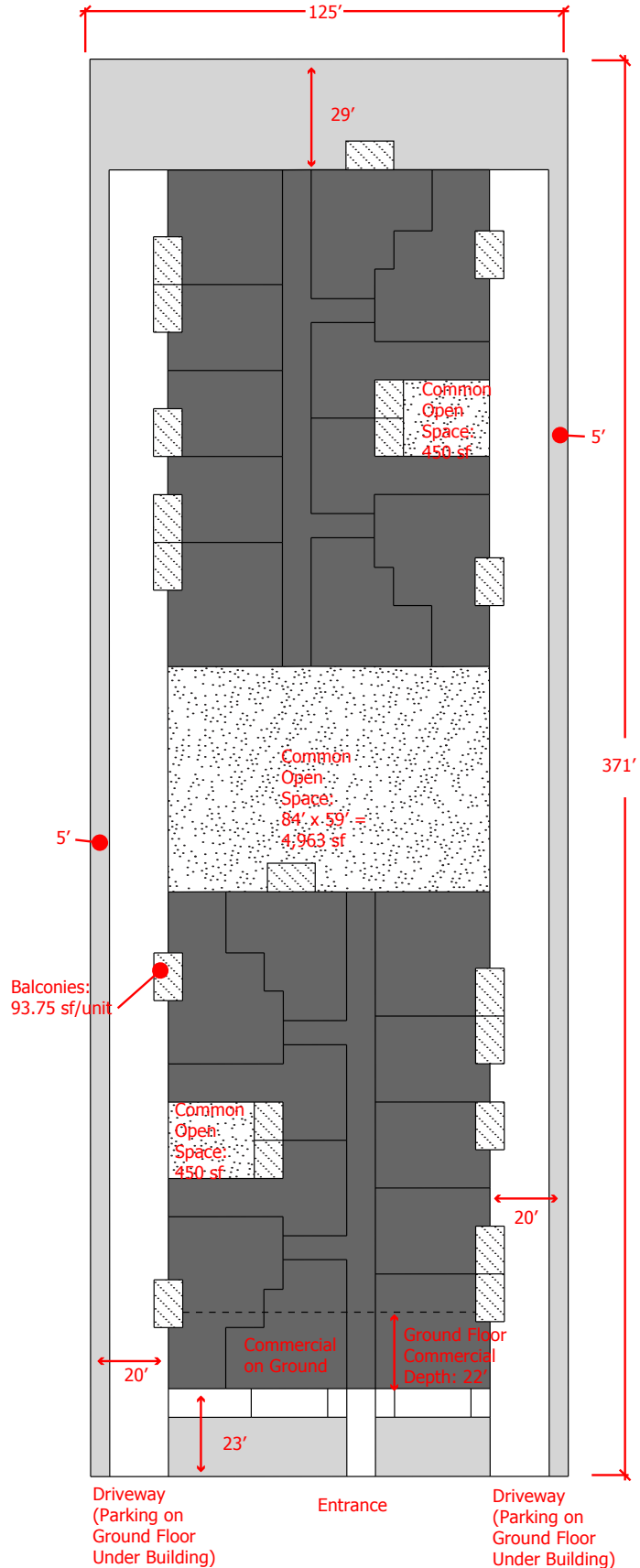
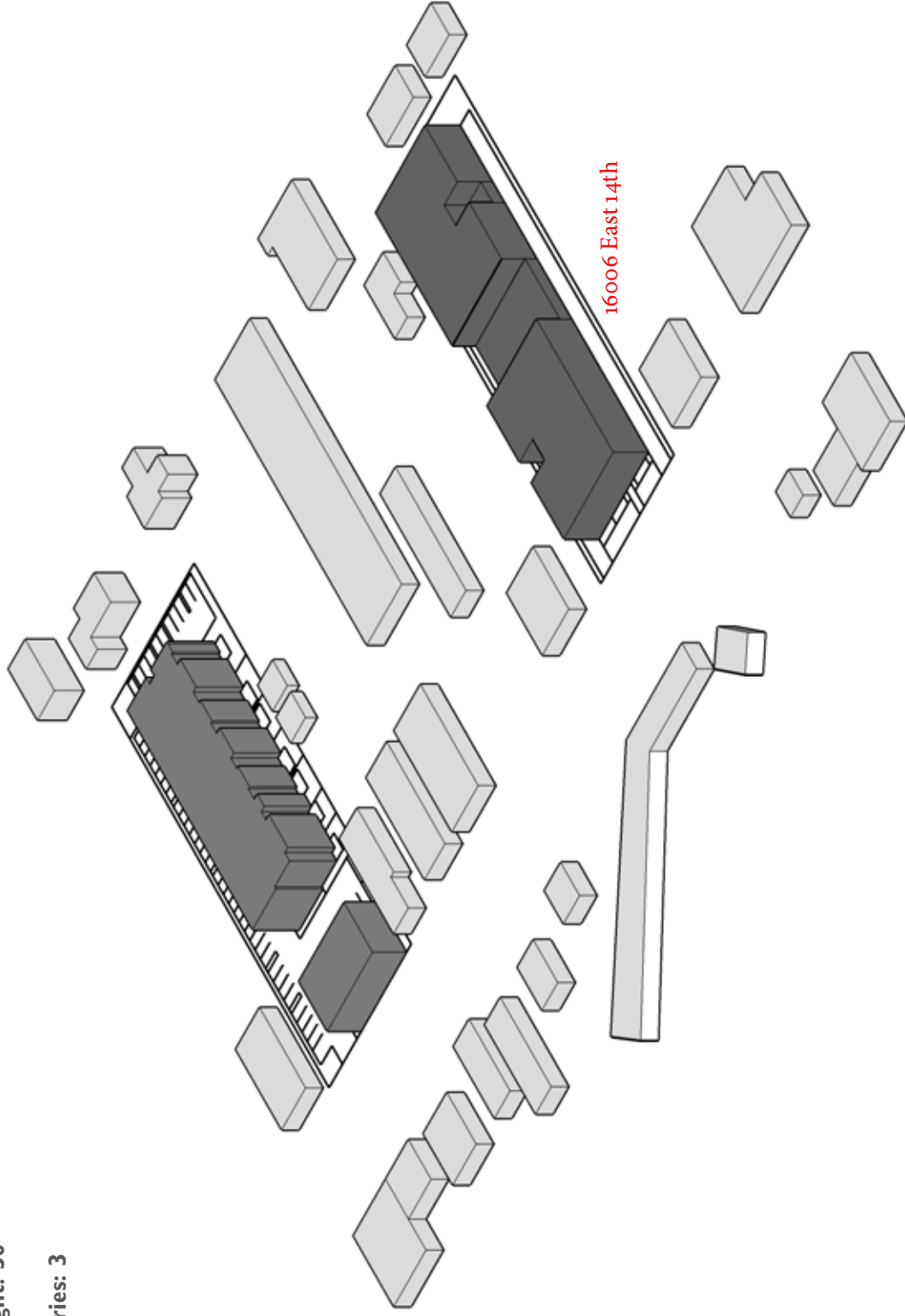


FIGURE 3-2: 16006 EAST 14TH STREET AND SURROUNDING CONTEXT

Height: 30

Stories: 3



16006 EAST 14TH STREET



16006 EAST 14TH STREET



FIGURE 3-3: 15954-15960 EAST 14TH STREET

MIXED-USE
 15954-15960 East 14th Street
 Ashland
 Zone: TA (ACBD Spec Plan)

Site: 140' x 370'
 Site Area: 51,800 sf

Height:
 Commercial: 29'
 Residential: 41'
 Stories: 1 Comm / 4 Res

Commercial: 5,192
 Residential: 49 units
 Residential Density: 41 du/ac
 Lot Coverage: 38%

Usable Open Space:
 - Ground Floor Decks: 188 sf/unit = 1,316 sf
 - Balconies: 64 sf/unit = 2,688 sf
 - Tot Lot: 775 sf
 - Landscaped areas w/ min 10' dimension: 4,361 sf
 Total: 9,140 sf (~ 186 sf/unit)

Site Landscaping: 7,353 sf (14%)

Parking Spaces:
 Residential: 53
 Commercial: 13
 Total: 66
 *Parking Spaces have special paving

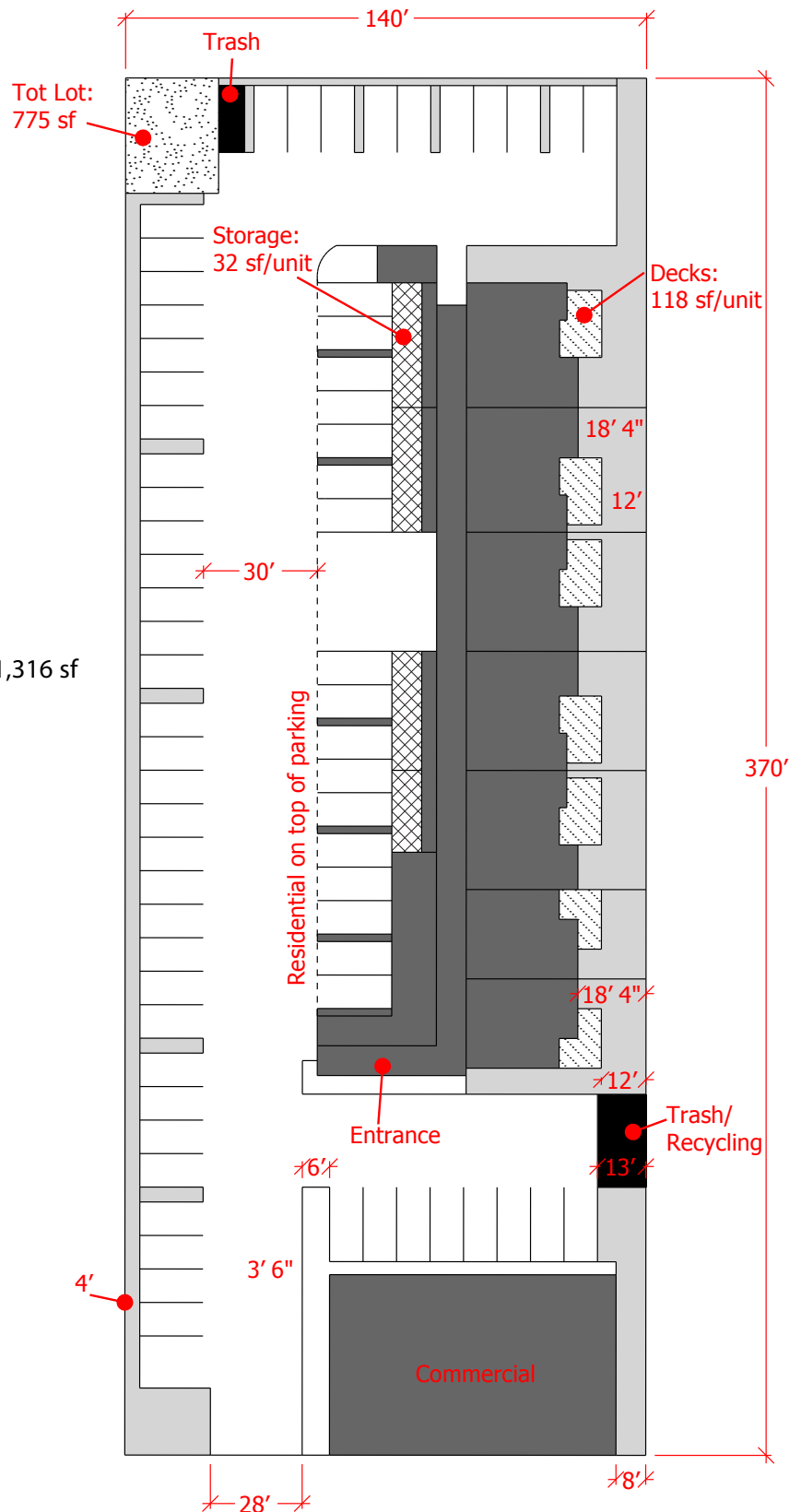
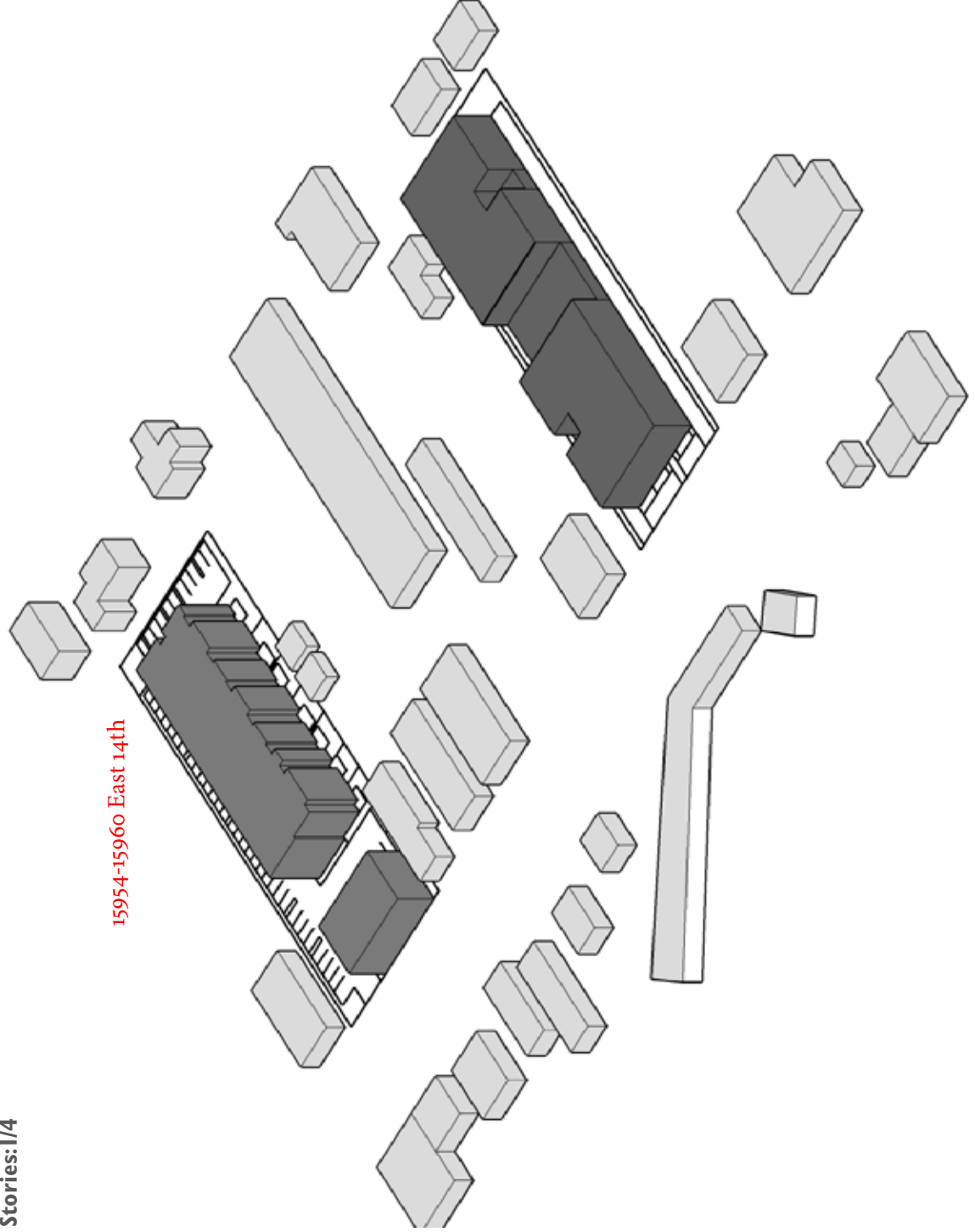


FIGURE 3-4: 15954-15960 EAST 14TH STREET AND SURROUNDING CONTEXT

Height: 29/41'

Stories: 1/4



15954-15960 East 14th

15954-15960 EAST 14TH STREET



15954-15960 EAST 14TH STREET



4 ANALYSIS AND RECOMMENDATIONS: MULTI-FAMILY RESIDENTIAL

EXISTING MULTI-FAMILY RESIDENTIAL ZONES AND DENSITIES

R-3 and R-4 were the original multi-family zones. They are not applied to many sites anymore; the predominant zones for multi-family and the respective maximum densities are:

- R-3 22 units per acre
- R-4 35-43 units per acre, higher density requires lower lot coverage (20-35%)
- R-S-D20 22 units per acre
- R-S-D15 29 units per acre
- R-S-D-3 12-29 units per acre; density is site-specific
- R-S-DV 12.5 units per acre; 22 units per acre (lots > 100 feet wide and > 20,000 sq. ft.)

LOT SIZES AND DIMENSIONS

There are very few vacant sites zoned for multi-family residential. Most development occurs on underutilized sites with an existing single-family home or a few scattered small units.

Lots tend to be long and narrow, similar to lots throughout the urbanized communities of Alameda County.

Typical multi-family residential lot dimensions are shown below. Lot sizes are less than one acre, ranging from .25 acres to .75 acres.

- R-S-D20 (Ashland): 60'-90' x 250'-300'
- R-S-D20 (Castro Valley): 80'-140' x 250'-500'
- R-S-DV (Cherryland/Hayward Acres): 50'-80'- x 150'-325'
- R-3 (Ashland): 50'-120' x 175'-200'
- R-S-D3 (Cherryland): 50'-80' x 270'-350'
- R-S-D15 (Ashland): 100'-200' x 350'
- R-4 (Ashland/Limited): 100'-150' x 380'
- CVBD Zone 11(larger sites): 80'-100' x 300'

Typical mixed-use residential lot dimensions are shown below. Lot sizes are typically less than one acre, though there are a few larger lots that are between one and two acres.

- CVBD Zone 7: 115' x 300'; 160'-180' x 500'
- CVBD Zone 8-9: 80'-100' x 300'
- CVBD Zone 10: 225'-360' x 480'
- ACBD-TA: 100'-150' x 380'
- ACBD-TC: 50'-100' x 200'

LOT COVERAGE, OPEN SPACE, AND LANDSCAPING

Some of the multi-family residential project sites are covered with buildings and/or paving, and have very little landscaped open space. There are no lot coverage limits in any of the multi-family residential zones (except for R-4, which is not applied to very many sites.) Also, there are no requirements for minimum on-site landscaping.

R-S development standards call for 600 square feet of usable open space per unit; and the zoning code counts only those open space areas with a minimum dimension of 10 feet. The Condo Guidelines call for 300 square feet of private open space, counting only areas with a minimum 15 feet minimum dimension if it is on the ground floor. Balconies count as private open space if they have a minimum dimension of 8 feet.

Analysis of Recent Development Projects

The amount of lot coverage and site landscaping was studied for the five project examples.

Multi-family Residential Examples:

- 1575 165th Street (Condo Conversion): 26% lot coverage; 27% landscaping
- 21059 Wilbeam Street (near Castro Valley Bart): 69% lot coverage; 14% landscaping
- 16438-16450 Kent Avenue (Senior Housing): 26% lot coverage; 24% landscaping

Mixed-Use Examples:

- 16006 East 14th Street (Mixed Use/Condo Conversion/ near San Leandro BART): 59% lot coverage; 18% landscaping (excludes common open space decks)
- 15954-15960 East 14th Street (Mixed Use/near San Leandro BART): 38% lot coverage; 14% landscaping

The condo conversion project on 165th Street is a typical example of existing multi-family residential in the R-S Districts. This project has a single-loaded two-story row of apartments and surface parking. Lot coverage is about 26% and landscaping is approximately 27% of the site.

The Kent Avenue Senior Housing project has fairly generous site landscaping, based on the pictures of the project and the experience of it in the field. The front garden is exceptionally well designed, with extensive use of trellises and gates and a wide variety of landscape materials. The location in the front yard contributes to the neighborhood appearance. Typically residential open space is located towards the rear of the property for the privacy of outdoor residential open spaces.

The Wilbeam Street project has a very high percentage of building coverage (69%), and very little landscaping (14%). The front yard contains almost no landscaping due to the configuration of the entrance to the parking garage.

The condo conversion project on 16006 East 14th Street project is a mixed-use project that has about 18% site landscaping over the entire site and has a lot coverage of about 38%. The percentage of site landscaping does not include the common open space decks.

The 15954-15960 East 14th Street mixed-use project has about 14% of site landscaping over the entire site. It is appropriate that a mixed-use project that includes street-front commercial building would have less site landscaping than a purely residential project.

Previous Task Force Recommendations

Standards and guidelines for lot coverage and site landscaping were discussed by the Task Force, during the sessions about small lot single-family homes and townhomes. The recommendations related to site landscaping and open space for those two lower-density building types are shown below. Adding lot coverage limits for those building types was not recommended, because the combination of setback, landscaping, and open space requirements provides ample regulations for those building types.

- Minimum Site Landscaping: 35%
- Minimum Usable Open Space per unit: 600 sf
- Minimum Private Open Space per unit: 300 sf
- Common Open Space
 - The minimum dimension is 25 feet. (Replaced from original 30 feet recommendation.)
 - The minimum size is 1,000 square feet, and no less than 200 square feet per unit.
 - Common open space should include seating areas and other passive recreation facilities.
 - Children’s play areas should be included.
 - Common open space should be located in a central location that serves all the units, not at an extreme edge of the property.
 - Lot Coverage Limits in Other Comparable Cities

Lot coverage limits for multi-family residential in other comparable cities are as follows:

- Mountain View: 30%
- Hayward: 40%-65%
- San Leandro: 50-75%
- Dublin: 35%

Minimum open space/site landscaping requirements in other comparable cities are as follows:

- Hayward : 350 sf/unit if 3 stories or less; 150 sf/unit for taller buildings
- Hayward Mixed Use Transit Areas: 15-20% of site must be landscaped

- Mountain View: 35-55% of site must be landscaped (depending on density)
- San Leandro: 300 sf/unit (min. dimension 10 ft.)
- Dublin: 30% of site area must be landscaped
- Pleasanton: 300 sf/unit (min. dimension 15 ft.)

Recommendations

It is important for multi-family residential to have standards for both lot coverage and site landscaping. A limit on lot coverage ensures that there is room around the building for views, light, air, privacy, and separation from adjacent buildings. A minimum requirement for site landscaping ensures that the site includes adequate landscaping, and is not dominated by paving. Landscaped areas are important because they improve views and provide usable open space for residents; and they also improve storm-water drainage and water quality by filtering surface water run-off.

1. *Maximum Lot Coverage: 55% of the lot for multi-family; 60% for high-density multi-family (over 29 units per acre); and 65% for mixed-use projects.*
2. *Minimum Site Landscaping: 30% of the lot for multi-family; 25% for high-density multi-family (over 29 units per acre); and 20% for mixed-use projects.*
3. *Minimum 5-foot wide landscaped areas between buildings and parking/driveways.*
4. *Require a 5-foot wide landscaped area between the driveway and the side property line.*
5. *Require at least 350 sq. ft. of open space per unit (common space and private space.) 300 for mixed-use projects.*
6. *Require at least 100 sq. ft. of private open space for each unit for multi-family residential; and 75 sq. ft. in mixed-use projects. The minimum dimension for ground floor private open space is 10 feet. Balconies in the upper stories with a minimum dimension of 7' can be counted towards private open space.*
7. *Require at least 100 sq. ft. of common open space for each unit in multi-family residential and mixed-use projects. Minimum dimension is 25 ft.; and minimum size is 1000 sq. ft.*

Additional Recommendations – Same as Townhome Recommendations

8. *Establish different types of open space requirements:*
 - *Minimum site landscaping – landscaped areas that are not paved or covered with buildings*
 - *Private Open Space that is used exclusively by a single unit.*
 - *Common Open Space that is a shared open space for use by all residents. These areas have larger dimensions than private open space, and should include children's play areas, seating, or other passive recreation facilities. These can be on the ground, or in courtyards above parking.*
9. *Require common open space areas in projects with five or more units.*
 - *The minimum dimension in any dimension is 25 feet. (Revised since previous meeting.)*

- *Common open space should include seating areas and other passive recreation facilities.*
- *Children’s play areas should be included in one of the common open spaces, unless the size and layout of the units are targeted towards empty-nesters, singles, and seniors. (Revised since previous meeting.)*
- *Common open space should be located in a central location that serves all the units, not at an extreme edge of the property.*

SIDE AND REAR YARD SETBACKS

In multi-family residential districts, side yards are required to be 10 feet. For mixed-use projects, side yards in Ashland Cherryland are required to be 10 feet. There is no specific side yard requirement for mixed-use projects in the Castro Valley Specific Plan.

Long deep lots are typical throughout all the urbanized areas of Alameda County. Therefore buildings on these lots tend to be very long and narrow. Buildings often have a long thin boxy building form. The primary windows of the units are oriented toward the side yard. Side yards are narrow, so the windows either face onto a small side yard, or onto a parking lot. There are also privacy issues if adjacent buildings are also built to the minimum side yard. Two side yards 10 feet apart means buildings are 20 feet apart window to window.

The rear yard is not easily accessible to most of the residential units in the long narrow buildings. It is only required to be 20 feet deep, so it is not deep enough to create a usable common open space with amenities. Rear yard requirements in other cities range from 15 to 30 feet.

Recommendations

- 10. Increase side yard requirements when the primary windows of residential units (front or rear) face the side yard or rear yard of the adjoining property. Require minimum 15’ setbacks for two-story buildings; and 20-foot setbacks for buildings three stories or taller.*
- 11. Require increased rear yards for taller buildings: 20’ for two stories; 25’ for 3rd story; 30 ft. for 4th story.*
- 12. Require larger rear yard setbacks when multi-family residential zones or mixed-use development backs up to low and medium density residential zones. Require 20 ft. for two stories, and 30 ft. for three stories or more.*

Additional Recommendations (same as Townhome Recommendations)

- 13. Show all surrounding properties on applications, including building heights, and locations of major windows, and primary open space areas.*

BUILDING HEIGHT

The current building height limit in the multi-family residential districts is 25 feet and two stories. Other communities typically allow at least three for multi-family housing at comparable densities, at building heights ranging from 30 to 45 feet. (San Leandro 40-50 feet; Hayward 40 feet; Mountain View 45 feet; Dublin 35-45 feet).

The Castro Valley Boulevard Specific Plan and the Ashland Cherryland Business District Specific Plan generally do not specify height limits; rather they call for heights to be set by Site Development Review.

Previous Task Force Recommendations

For townhomes and small lot single-family design guidelines, proposed heights based on the Task Force discussion are:

- 30' and 3 stories for townhomes between 17.5 to 22 du/ac
- 35 feet for portions of the building located at least 25 feet from the property line
- Second floors to be no more than 80% of the ground floor building footprint; and third floors to be no more than 60-75% of the ground floor.
- Encourage the second and third stories to be located away from areas where it would be close to buildings on adjoining properties.

Analysis of Recent Development Projects

Heights approved for recent new multi-family projects ranged from 32-41 feet:

- 1575 165th Street (Condo Conversion): approximately 25 feet
- 21059 Wilbeam Street (near Castro Valley Bart): 32 feet (no height limit in CVBD Specific Plan)
- 16438-16450 Kent Avenue (Senior Housing): 38 feet (25-30 feet allowed by zoning of surrounding lots)
- 16006 East 14th Street (Mixed Use/Condo Conversion/ near San Leandro BART): approximately 30 feet (no height limit in ACBD Specific Plan, other than 45 degree plane next to residential lots)
- 15954-15960 East 14th Street (Mixed Use/near San Leandro BART): 41 feet for the residential building (no height limit in ACBD Specific Plan, other than 45 degree plane next to residential lots)

Recommendations

14. *In multi-family residential zones, allow heights up to 30 feet and three stories, and 35 feet for portions of the building that are at least 25 feet away from property lines.*
15. *In mixed-use zones, allow building heights of three stories and 45 feet; and allow four stories and 50 feet for portions 25 feet away from property line, and on commercial streets.*
16. *Require portions of buildings that are three stories to be located away from property lines of surrounding residentially zoned properties.*
17. *Maximum height of 25 feet adjacent to lower density (medium and low density) residential districts.*
18. *Limit second and third floors to a maximum of 80% of the ground floor building footprint.*

Additional Recommendations (same as Townhome Recommendations)

19. *In residential zones, require the visual and shadow impact of third stories to be minimized in the project design, using one or more of the following design strategies:*
 - *Locate third stories in the center of the property at least 25 feet away from adjacent properties,*
 - *Tuck a third story inside a pitched roof,*

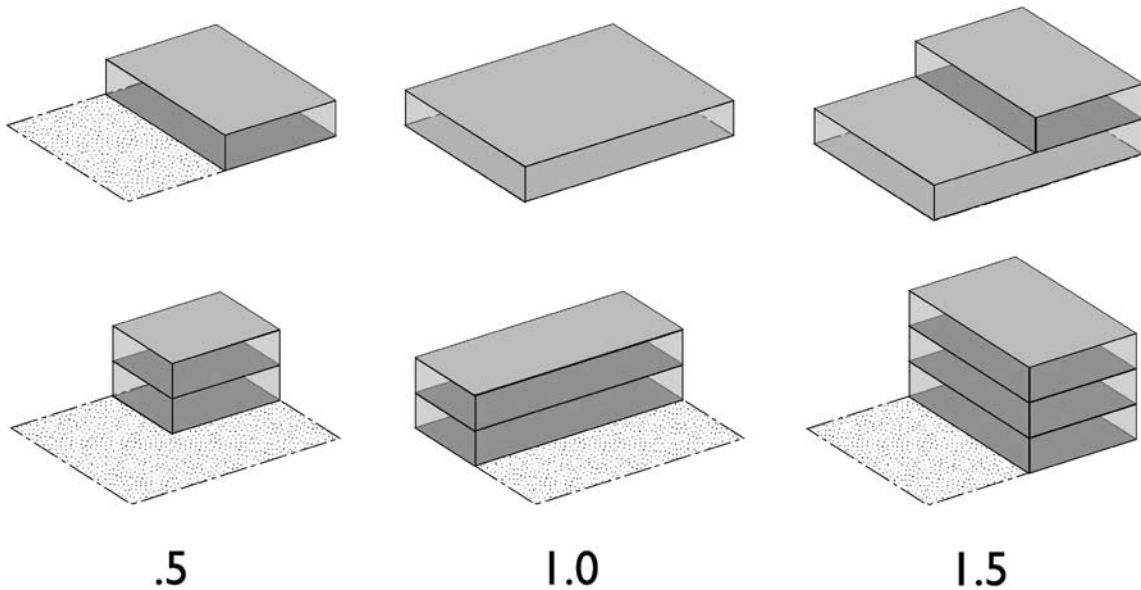
- Incorporate dormers for light and circulation, or
- Step back the third story from the stories below.

Special Rules for Lots less than 75' wide:

20. Do not allow three-story buildings on lots less than 75 feet wide.

BUILDING FLOOR AREA LIMITS

Current rules in the County’s condominium guidelines set a maximum floor area of 1 sq. ft. of building for every 3 sq. ft. of land, or a maximum FAR of .30. The rules also allow for greater floor area for high-density projects on a case-by-case basis. This floor area ratio limit is completely unrealistic for multi-family residential and mixed-use buildings. A typical floor area ratio for an apartment or condo complex two stories tall would be at least .60 FAR – 1.0 FAR (depending on lot coverage, landscaping, and parking location); and at least 1.0 – 1.5 FAR would be typical for a three-story building.



We do not recommend including a floor area ratio limit for multi-family residential projects. The combination of requirements for open space, setbacks, height limits, and all of the other recommended design standards and guidelines provide more appropriate and detailed regulations than a simple floor area ratio. Moreover, the residential density limits already establish an effective density limit. In mixed-use projects that involve primarily residential units, with a ground floor commercial along the street, the combination of residential density limits and the proposed design standards and guidelines provide an adequate regulatory framework.

Recommendations

21. *Do not use a floor area ratio limit for multi-family residential projects or mixed-use projects that include residential uses. Rely instead on residential density limits and the proposed design standards and guidelines.*
22. *In order to encourage ground floor retail in mixed-use areas, do not establish any floor area ratio limits or other density limitations for ground floor retail, restaurants, and services when they are part of a mixed-use project with residential units.*

MULTI-FAMILY RESIDENTIAL BUILDING FACADES FACING THE STREET

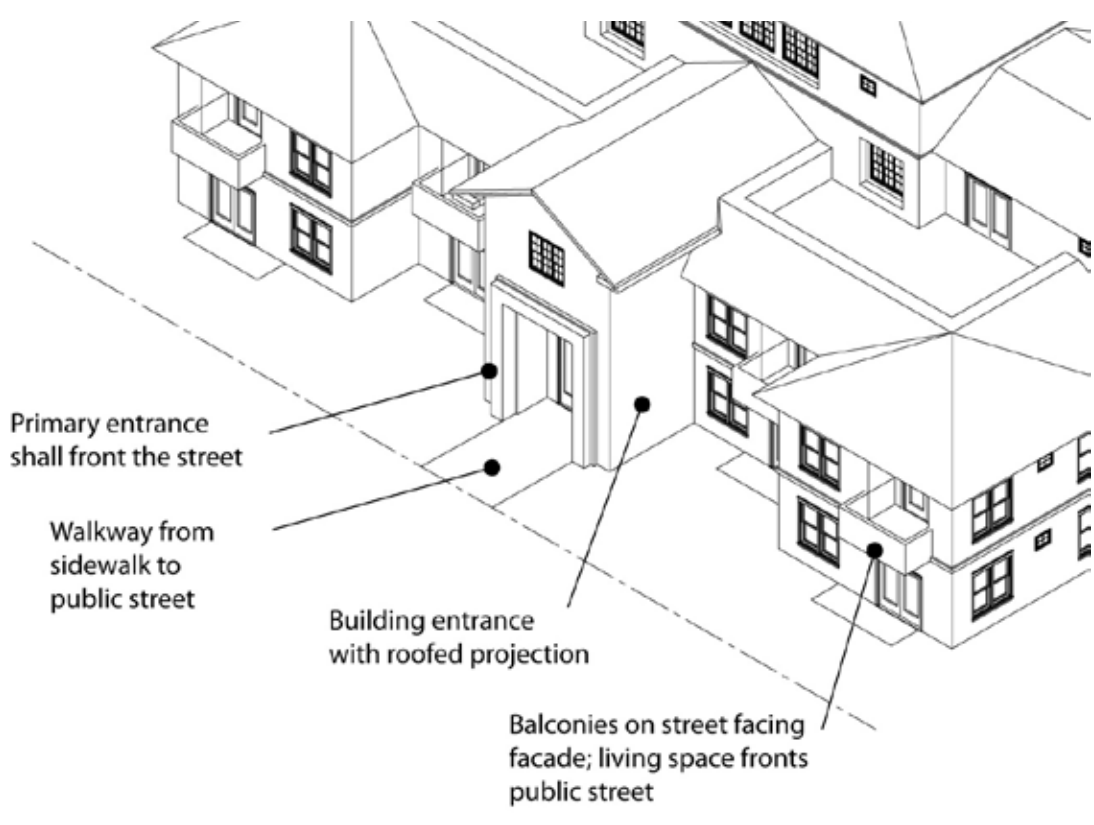
The street appearance of projects is critical to the overall appearance of the neighborhood and the preservation of neighborhood character. The following recommendations are proposed in order to that multi-family projects present a welcoming and open appearance to the street, and fit in with the mix of single family homes and medium density projects that are typical in County neighborhoods.

Recommendations

23. *A building located along public streets must have a primary entrance front this street in the form of individual entrances or aggregated building entrances. Exceptions to this requirement may be made where a multi-family complex fronts an arterial street carrying high traffic volumes.*
24. *Building entrances must have a roofed projection such as a porch with a minimum depth of five feet and a minimum horizontal area of at least 100 sq. ft. Alternative designs that create a welcoming entry feature facing the street, such as a trellis or landscaped courtyard entry may also be acceptable.*
25. *Buildings must present an attractive façade oriented to the street. Porches, bays, balconies, and windows should be included on the street-facing façade.*
26. *The first floor of a multi-family residential building may be no more than 4 feet above the sidewalk elevation.*

Additional Recommendations (same as Townhome Recommendations)

27. *Require the design of the street-facing façade to include detailing and articulation equivalent or better in quality to the detailing of the unit fronts throughout the project.*
28. *Require a walkway from the sidewalk to the front door. This does not have to be located in a straight line; it may jog around the edge of the front yard to preserve landscaped areas.*
29. *Living space must front a public street.*
30. *Maintain and enforce front yard fence height limits. Street facing fences and walls should comply with the zoning ordinance fence height requirements. (36 inches at corners in visibility triangle.)*
31. *Electrical panels must be located and designed so as to be an attractive part of the façade and to be well-screened with landscaping. Build electrical panels into the basic footprint of the building. Locate the panel access and doors into the garage wall of individual units, or on the side wall close to the street (not the street-facing façade.) (Revised since previous meeting.)*
32. *Front yards are 20 feet, consistent with front yards for residential neighborhoods. A maximum of 50% of the front yard may be paved.*



AMOUNT OF REQUIRED PARKING

The residential units in multi-family and mixed-use projects are typically much smaller than small lot single-family homes and townhomes. It is appropriate to examine appropriate parking requirements for these types of units. Most cities relate the parking requirements to the number of bedrooms. The following parking ratios are based on our experience with multi-family parking requirements in other comparable East Bay cities.

Recommendations

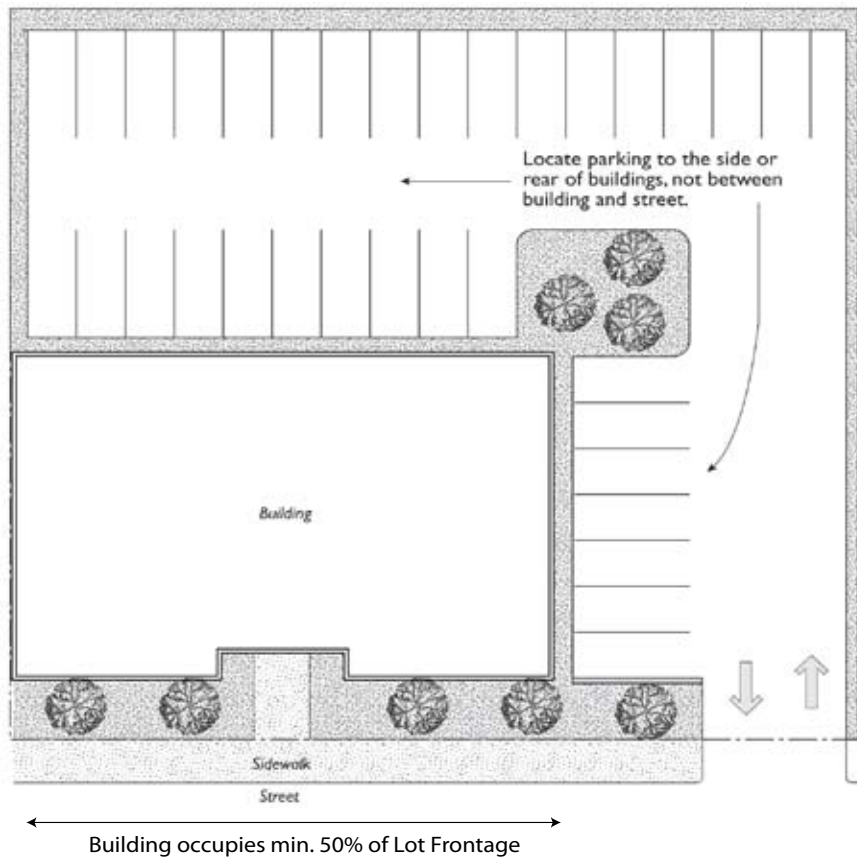
33. *Revise multi-family unit parking requirements to be tied to number of bedrooms per unit (except in the Ashland/Cherryland Business District where other requirements are established by the Specific Plan):*
 - *Studio: 1 space*
 - *One-bedroom: 1.5 spaces*
 - *Two-bedrooms or more: 2 spaces*
 - *Guest parking – Multi-family Residential: .50 per unit for multi-family residential*
 - *Guest parking – Mixed Use: .25 per unit (because there is typically commercial parking that can be used by residential units on nights and weekends, provided that it is accessible to both uses)*

LOCATION OF PARKING

There are no specific rules in the multi-family residential districts about the location of parking. The location of parking is critical to multi-family residential site planning. It is also critical in terms of the street appearance of the project and the project's relationship to the character of the neighborhood.

Recommendations

34. *Locate parking to the side or rear of buildings, or underneath buildings. Do not locate parking between the building and the street.*
35. *Minimize the prominence of driveways and parking garages within the front façade and the front yard.*
 - *Establish a maximum driveway width of 20-22 feet.*
 - *Parking and driveways should not occupy more than 40% of the lot frontage.*
 - *No more than 30 percent of the lot frontage should be occupied by parking.*
 - *Locate garage entrances and driveways to the side of the property instead of at the center.*
36. *Require decorative paving at the driveway entrance from the street into the project.*



Additional Recommendations (same as Townhome Recommendations)

37. Allow tandem parking for up to 25% of the units. A greater amount of tandem parking could be permitted for mixed-use projects with discretionary review and approval.
38. Limit the number of curb cuts to one per lot, unless the lot exceeds one acre or 200 feet in lot frontage.
39. Do not count on-street parking towards on-site parking requirements, unless the street frontage with parking accommodates five parking spaces or more. (Revised since previous meeting.)
40. Maximize the use of shared driveways when driveways are closer than 50' apart. Minimize the number of curb cuts, and space them so as to preserve on-street parking and minimize paving. (Revised since previous meeting.)
41. Allow reduced parking for projects that are 1/2 mile from transit stations or 1/4 mile from major transit corridors, through a discretionary review process that includes public notice and opportunity for public input. Transit stations are defined as a BART station, light rail station, or other heavy rail transit station. Major transit corridors are defined as bus corridors with bus rapid transit, or corridors with bus service at least every 15 minutes during peak hours and every 20-30 minutes during other daytime hours. (Revised since previous meeting.)

BUILDING FORM

Many of the existing multi-family and mixed-use buildings are very long, narrow, and boxy, due to the long narrow shape of the lots in Alameda County urbanized areas. It is important to break up the form of these buildings into smaller components by using a variety of roof forms, and limiting the maximum length of any one building.

Recommendations

42. *Variable roof forms shall be incorporated into the building design. No more than two side-by-side units may be covered by one unarticulated roof. Articulation may be accomplished by changing roof height, offsets, and direction of slope, and by introducing elements such as dormers, towers, or parapets. Other alternative design approaches that achieve the same goal of breaking down building masses into small individual units may also be acceptable, for example shifting the units in section and varying the design treatment for individual units. Additional Recommendations (same as Townhome Recommendations)*

Additional Recommendations (same as Townhome Recommendations)

43. *Establish a maximum building length of 150 feet. Allow exceptions if buildings are designed with many different setbacks (instead of a long flat wall), changes in roof form or height, and major recesses (notches) along the length of the building, which successfully break up the massing of the building. The review of exceptions would require a conditional use permit or special site development review with public hearing.*

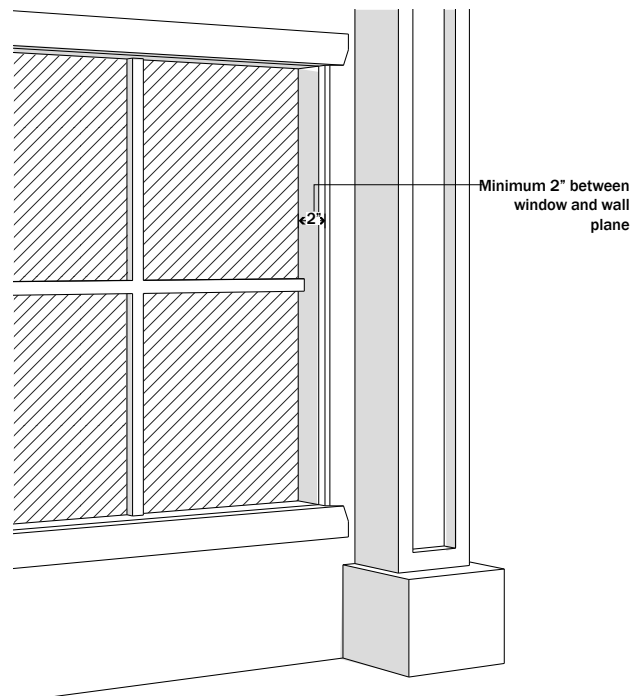
BUILDING FAÇADE DESIGN: ARTICULATION AND MATERIALS

Recommendations

44. *Building Projections that enhance the design and articulation of the building should be allowed to project into required front, side, and rear yards. This is typically allowed in almost every zoning code to accommodate chimneys, bay windows, porches, exterior stairs, and similar elements.*

Additional Recommendations (same as Townhome Recommendations)

45. *Require all sides of buildings to incorporate at least three and typically four of the following features that provide articulation and design interest:*
- *Minimum depth of at least two inches from glass to exterior of trim or wall edge around windows,*
 - *Decorative trim elements that add detail and articulation, such as window and door surrounds with at least a two-inch depth; or deeply recessed windows (more than two inches). They must be designed as an integral part of the design, and not appear “tacked-on”. (Revised since previous meeting.)*
 - *Pitched / variegated roof forms,*
 - *Roof overhangs at least 18 inches deep,*
 - *Variety in use of materials, especially at ground level stories, for detailing at porches / entry areas, paneling at bays or at special parts of the building,*
 - *Building base (bottom two feet) that is faced with a stone or brick material, or is delineated with a channel or projection; and/or*
 - *Railings with a design pattern in wood, metal, or stone.*



BUILDING SEPARATION

Multi-family residential and mixed-use projects often have multiple buildings; particularly if the site is large. Provisions need to be included to ensure light, air, and privacy between residential units in adjoining buildings.

Recommendations (same as Townhome Recommendations)

46. Building separation requirements within a project should be as follows:

- At least 10 feet between walls with no windows, or walls with minor windows (bathrooms, clearstories, etc.) where windows can be offset typically by 5 to 10 feet and privacy is not an issue.
- At least 20 feet between walls with primary windows (bedroom, living room, dining area, kitchen) where the window locations can be offset typically by 5 to 10 feet for privacy.
- At least 40 feet between walls with the primary living room windows where windows are located directly opposite or offset typically by 5 to 10 feet from the windows of facing units.

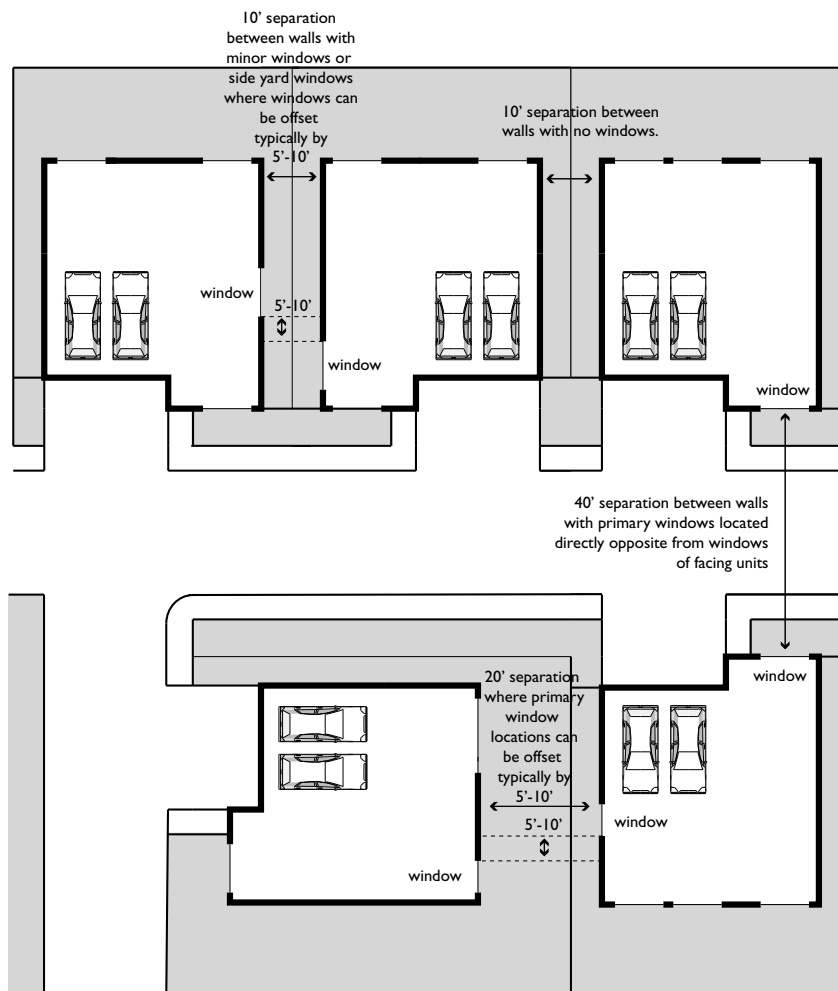


FIGURE 4-I: MULTI-FAMILY RECOMMENDATIONS - PLAN

MULTI-FAMILY RECOMMENDATIONS

A typical lot size is used for this illustration. Lots of different size or dimension may result in different densities, lot coverage or site landscaping.

Lot Dimensions: 127' x 320'
Lot Size: 40,640 sf

Units: 23 (19 one-bdrms; 4 two- or three-bdrms)
Density: 25 du/ac

Lot Coverage: 40%; allowed 55%

Site Landscaping (excludes above-ground courtyards or decks): 30%; min required 30%

Height: 2-3 Stories

Parking Spaces: 49 (@1.5/one-bdrm; 2/two-bdrm .5 guest/unit)

Total Usable Open Space

(NEW DEFINITION): 12,365 sf = 537 sf/unit

- Ground Floor Private Open Space: 600 sf/unit

- Balcony Private Open Space: 105 sf/unit

- Common Usable Open Space: 5,750 sf

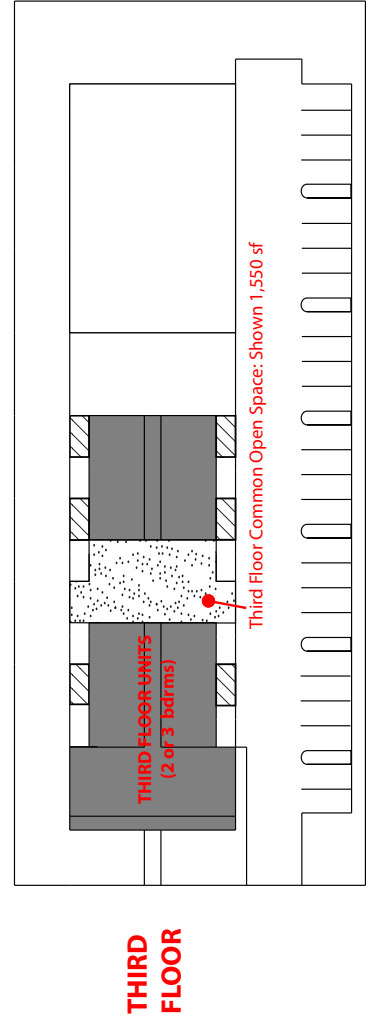
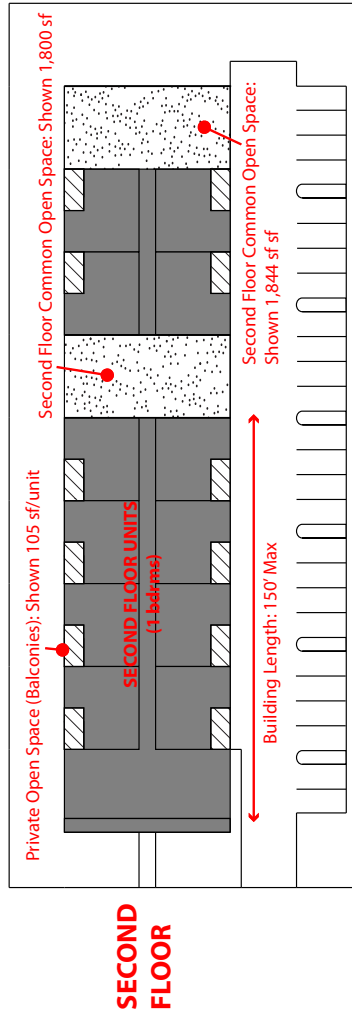
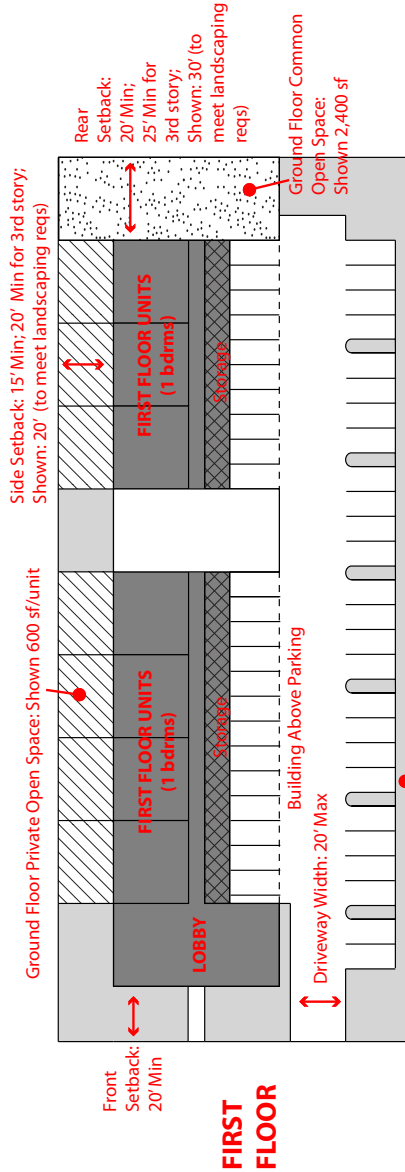
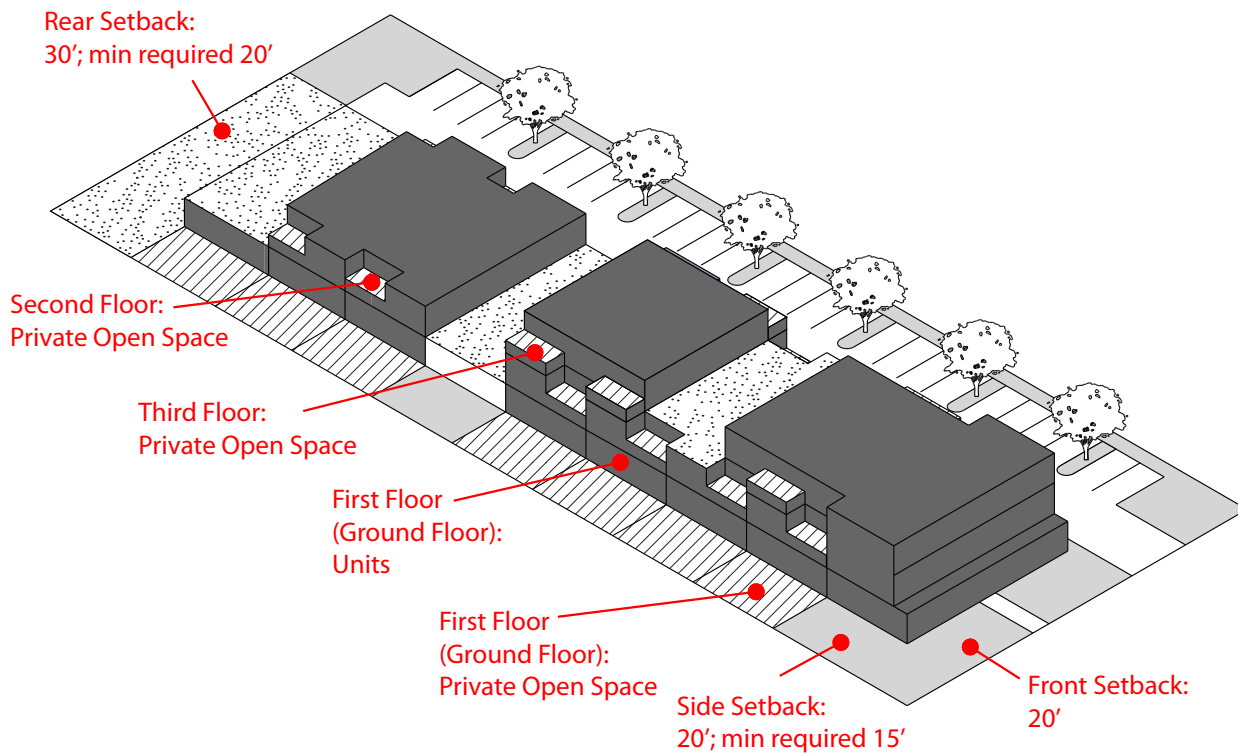
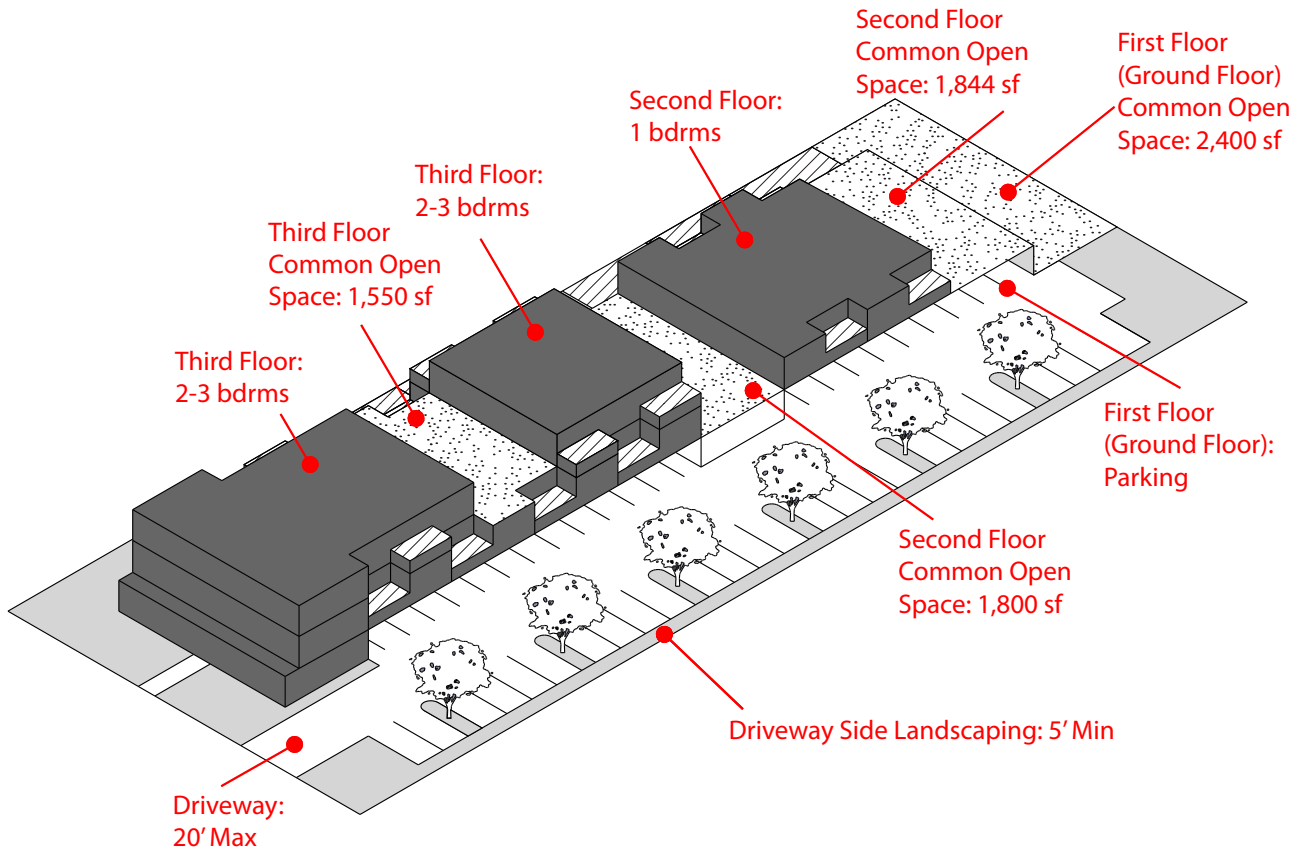


FIGURE 4-2: MULTI-FAMILY RECOMMENDATIONS - VIEW 1 AND 2



MIXED-USE ON COMMERCIAL CORRIDORS

The Castro Valley Specific Plan and the Ashland Cherryland Specific Plan both contain design guidelines, which are different for the different sub-areas of the Specific Plan area. The Specific Plans cover many, but not all, of the design guidelines and standards topics discussed in this report. There will need to be a clear resolution of how any new adopted County design guidelines apply to the areas with adopted Specific Plans.

MINIMUM AMOUNT OF RETAIL DEVELOPMENT IN MIXED-USE SITES

Mixed-use projects include retail, restaurants, office or service uses on the ground floor along commercial streets, and residential units either behind and/or on upper floors. The Ashland Cherryland Business District Specific Plan (ABCD) requires that 50% of the ground floor space be devoted to retail uses. This requirement is designed to ensure that retail and related uses have viable large spaces, and to maintain the district as a vibrant commercial area.

However on long deep lots this requirement may be unrealistic. Lots are often 300 to 500 feet deep. Retail spaces are typically a minimum of 25 feet wide and 60 to 100 feet deep. Thus on a long deep lot the requirement may be problematic. The ACBD Specific Plan could be amended to provide greater flexibility for this requirement on long deep lots.

Recommendations

- 47. Consider reducing the amount of ground floor commercial required on long deep lots.*

BUILDING LOCATION ALONG THE STREET

In mixed-use districts and commercial corridors, buildings should be located close to the public sidewalk, so that store windows are adjacent to pedestrian sidewalks. Buildings should be permitted to be set back a little bit from the property line, up to 10 feet or so, to create wider sidewalks and to accommodate outdoor dining areas and arcades.

The Castro Valley Specific Plan establishes a 0-5 foot front setback in the pedestrian-oriented core area, and setbacks in other sub-districts are subject to site design review. The Ashland Cherryland Business District Specific Plan establishes a maximum 10-foot front setback.

In some sub-areas along the commercial corridors, residential projects are permitted, without any required commercial uses on the ground floor along the street. In those instances, it is important to have some landscaped front yard separating the building from the busy street.

Recommendations

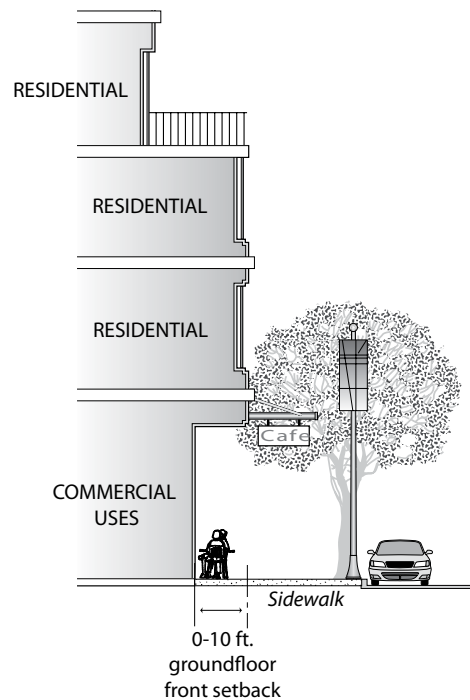
- 48. Establish a 0-10 feet front yard setback for mixed-use projects with commercial at the ground floor along the sidewalk. 10 foot would be the maximum setback. The current five-foot maximum in the Castro Valley Plan is not deep enough to allow for wide sidewalks and outdoor cafes.*
- 49. Require a minimum of a 20 foot landscaped front yard where residential uses are included on the ground floor along a commercial or mixed-use corridor, including East 14th Street and Castro Valley Boulevard.*

LOCATION OF RESIDENTIAL UNITS

Residential units in mixed-use projects should be located above ground floor commercial uses, or behind a commercial building that fronts the street. The existing Specific Plans clearly envision these two potential locations for residential units.

Recommendations

50. *The guidelines should state explicitly that commercial uses are required along the street frontage in the areas specified in the Specific Plans for continuous pedestrian-oriented shopping areas. Residential units should be located above ground floor commercial uses or behind a commercial building that fronts the street, on such street segments.*



LOCATION OF PARKING

Parking location is critical in mixed-use districts, in order to achieve the pedestrian-oriented character desired for the Castro Valley CBD and the Ashland Cherryland Business District. The following recommendations should apply to new mixed-use development projects, in the sub-areas where pedestrian orientation is required.

Recommendations

51. *Locate parking either underneath buildings, or to the side or rear of buildings.*
52. *Parking may not be located between buildings and pedestrian sidewalks. Parking must be screened from view from the pedestrian sidewalk*
53. *Minimum building frontage along the street: building occupies a minimum of 50% of the lot frontage; greater in some areas.*

REDUCED REQUIREMENTS FOR RESIDENTIAL OPEN SPACE AND SITE LANDSCAPING

We recommend that the site landscaping and open space requirements for mixed-use projects be similar to those for multi-family residential. However it is appropriate to provide slightly different requirements, because mixed-use projects include commercial space, and they are in a more urban context than a residential neighborhood.

Recommendations

54. *Maximum Lot Coverage: 65% for mixed-use projects.*
55. *Minimum Site Landscaping: 20% for mixed-use projects.*
56. *Minimum 75 sq. ft. per unit private open space.*
57. *Other open space requirements would be the same as for multi-family residential.*

DESIGN OF GROUND FLOOR COMMERCIAL SPACES ALONG THE STREET

The design of ground floor commercial spaces is the most critical aspect of building design for mixed-use projects. We recommend the following design provisions for the ground floor. These would be in addition to general requirements about building design and articulation that would apply to mixed-use projects as well as multi-family residential projects. The Specific Plans establish some of these guidelines, but do not provide for a comprehensive set of requirements for all areas and all topics.

Recommendations

58. *Minimum Floor to Ceiling Height: Minimum 15 feet for retail; and 12 feet for office.*
59. *Ground Floor Windows. Minimum 50 percent of ground floor wall area shall be windows, between grade and 9 ft. above grade.*
60. *Limits on Blank Walls. Maximum 25 percent of linear street frontage; maximum 25 feet in length.*

61. *Building Entrances at least every 100 feet. Building entrances must face the street.*
62. *Ground Floor Exterior Materials. Must be tile, stone, brick glass, concrete, and other durable quality materials. No use of stucco or EIFS in the first three feet above sidewalk level.*
63. *Wall Plane Articulation. Wall plane projections or recesses minimum 6-18 inches.*
64. *Ground Floor Elevations Relative to the Public Sidewalk. Floor plane elevations no more than two feet from sidewalk level.*



FIGURE 4-3: MIXED USE RECOMMENDATIONS - PLAN

MIXED USE RECOMMENDATIONS

A typical lot size is used for this illustration. Lots of different size or dimension may result in different densities, lot coverage or site landscaping.

Lot Dimensions: 150' x 290'

Lot Size: 43,500 sf (approx. 1 acre)

Units:

Option 1: 25 (20 one-bdrms; 2 two-bdrms; 3 three-bdrms)

Density: 25 du/ac

Option 2: 30 (30 one-bdrms)

Density: 30 du/ac

*Higher densities possible w/ additional story and reduced parking (near transit)

Lot Coverage: 58%; *allowed 65%*

Site Landscaping (excludes above-ground courtyards or decks): 25%; *min required 20%*

Height: 3 Stories

Parking Spaces:

Residential: 53 (@ 1.5/one-bdrm; 2/two-bdrm;

.5 guest/unit)

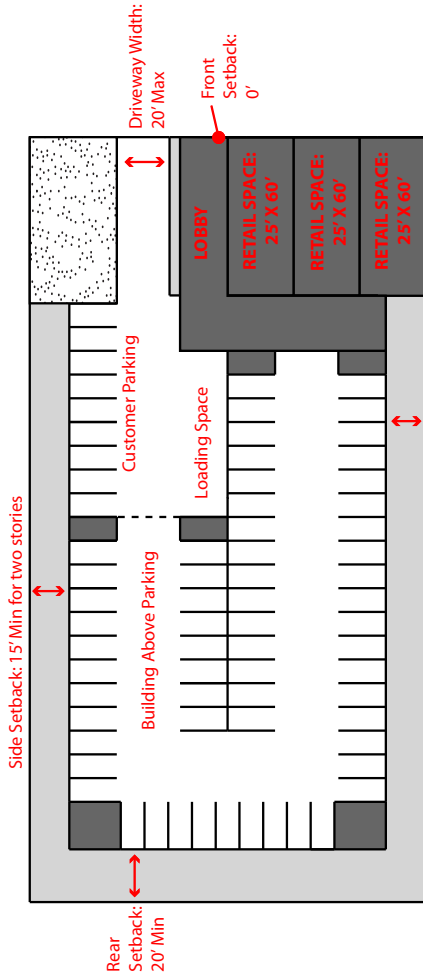
Retail: 9 (@ 1/500 sf)

Total Usable Open Space

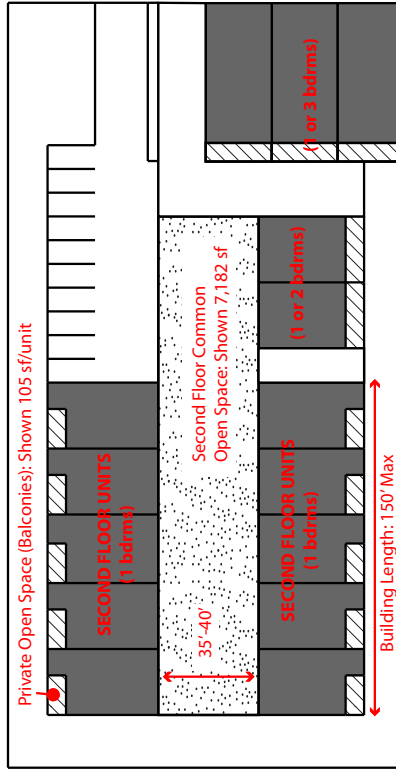
(NEW DEFINITION): 13,807 sf = 523 sf/unit

- Private Open Space: 105-175 sf/unit

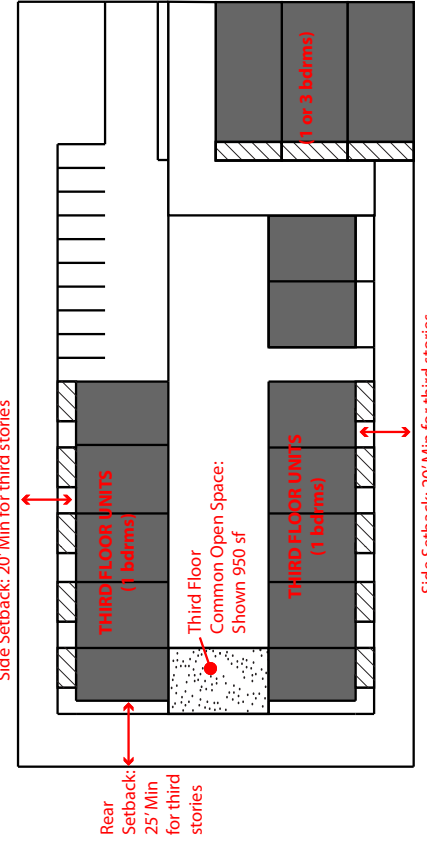
- Common Usable Open Space: 10,112 sf = 404 sf/unit



FIRST FLOOR

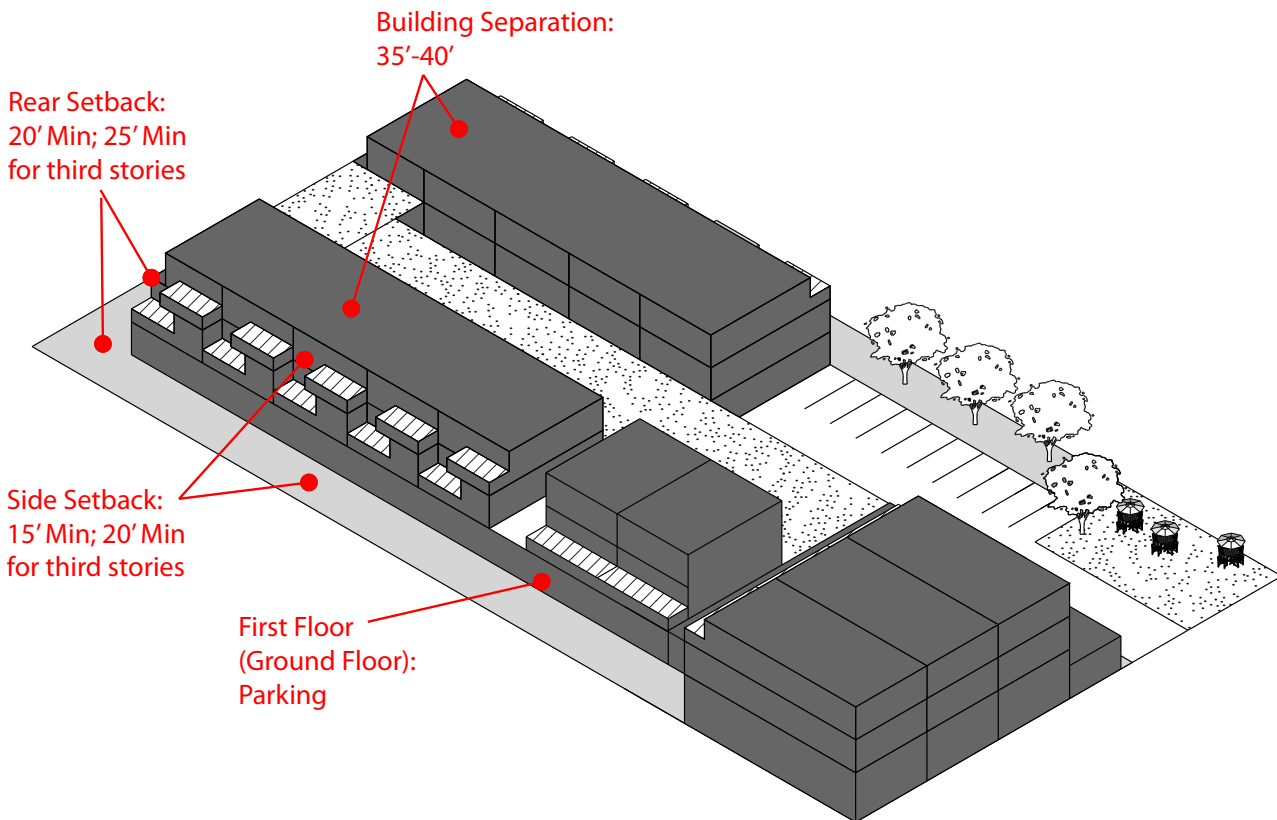
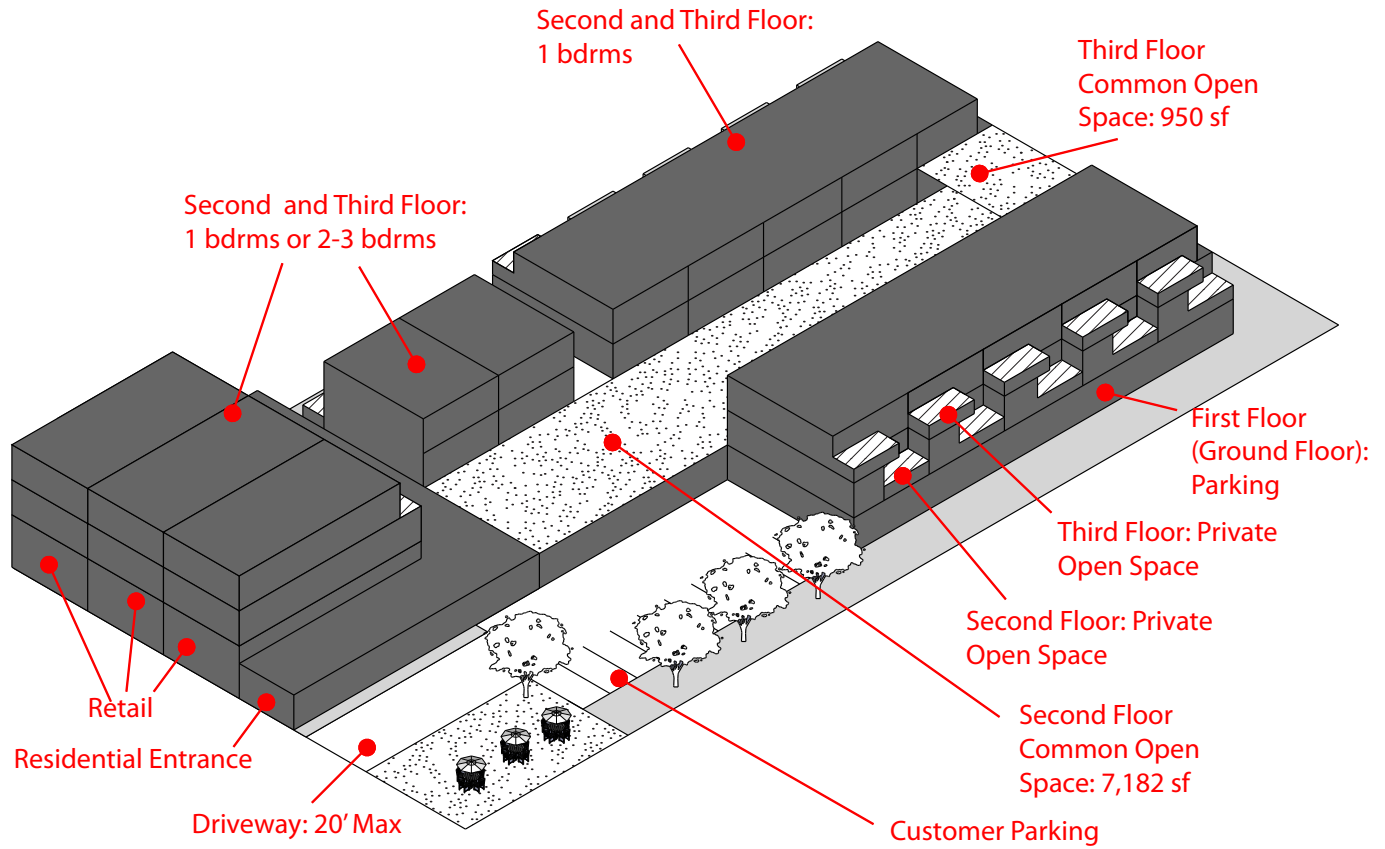


SECOND FLOOR



THIRD FLOOR

FIGURE 4-4: MIXED USE RECOMMENDATIONS - VIEW 1 AND 2



SUMMARY OF RECOMMENDED DEVELOPMENT STANDARDS

The chart on the following page presents a summary of the recommended quantitative standards and guidelines for all of the development types we have discussed during the Task Force meetings. These will be incorporated into the draft design guidelines document (as modified by Task Force discussion on June 29th.) There are many other qualitative recommendations which are not included in this table, but which will be included in the guidelines. The full draft design guidelines will include drawings and/or photos to illustrate key proposals, including drawings illustrating many of the proposed quantitative items addressed in this table.