

DRAFT

RESIDENTIAL DESIGN STANDARDS AND GUIDELINES

For the Unincorporated Communities of West Alameda County



TASK FORCE MEETING

March 8, 2010



Kahn
Mortimer
Associates
PLANNING • ARCHITECTURE

DYETT & BHATIA
Urban and Regional Planners

Tonight's Meeting

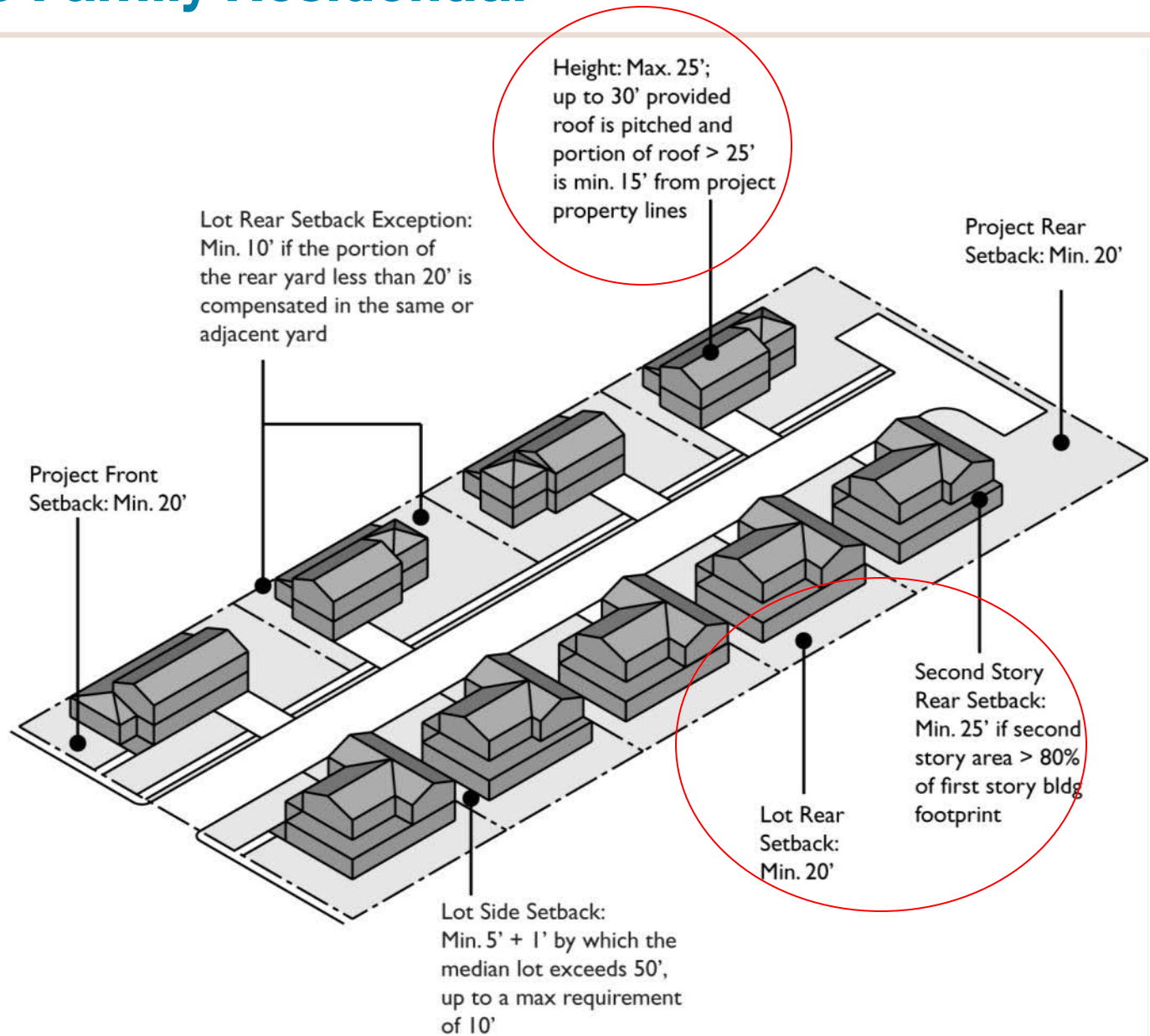
- *Overview of Revisions from Previous Meeting*
- *Townhome Standards*
 - Overview
 - Comments and Discussion
- *Multi-Family Residential Standards*
 - Overview
 - Comments and Discussion
- *Design Guidelines for Residential Projects*
 - Overview
 - Comments and Discussion
- *Topics for Next Task Force Meeting*

Revisions From Previous Meeting

Single-Family Residential

- **Clarification of Diagrams:**
 - *Height: Max. 25'; up to 30'*
 - Up to 30'; provided that the roof is pitched and portion of the roof over 25' in height is at least 15' away from property lines
 - *Rear Setback: Min. 20'*
 - Min. 25' for second story if second story > 80% of the building footprint

Single-Family Residential

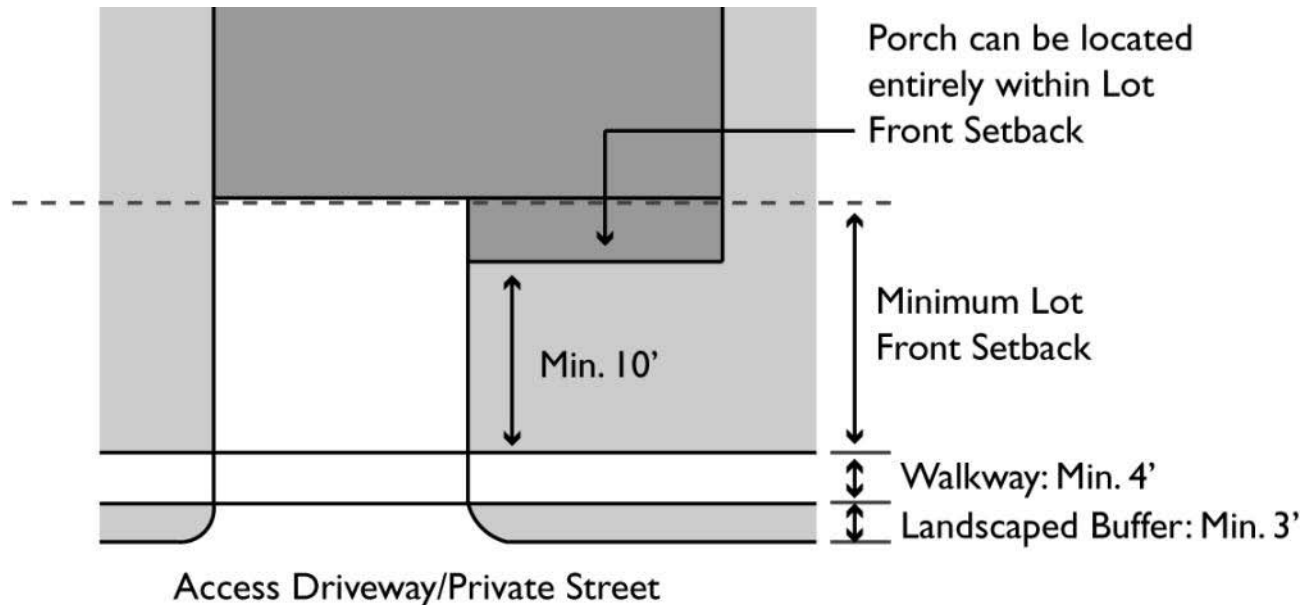


All Development

- **Existing Measurement of Front Setback from Private Street**
 - *Measured from the edge of access easement*
 - *If sidewalk within access easement, measured from back of sidewalk*
 - *If sidewalk is outside of access easement (i.e. separate pedestrian easement), measured from back of curb*

All Development

- **Proposed Measurement of Front Setback from Private Street**
 - *Measured from back of sidewalk*
 - *Front porch facing the driveway/private street can be completely located within the front setback if minimum 10' from back of sidewalk*



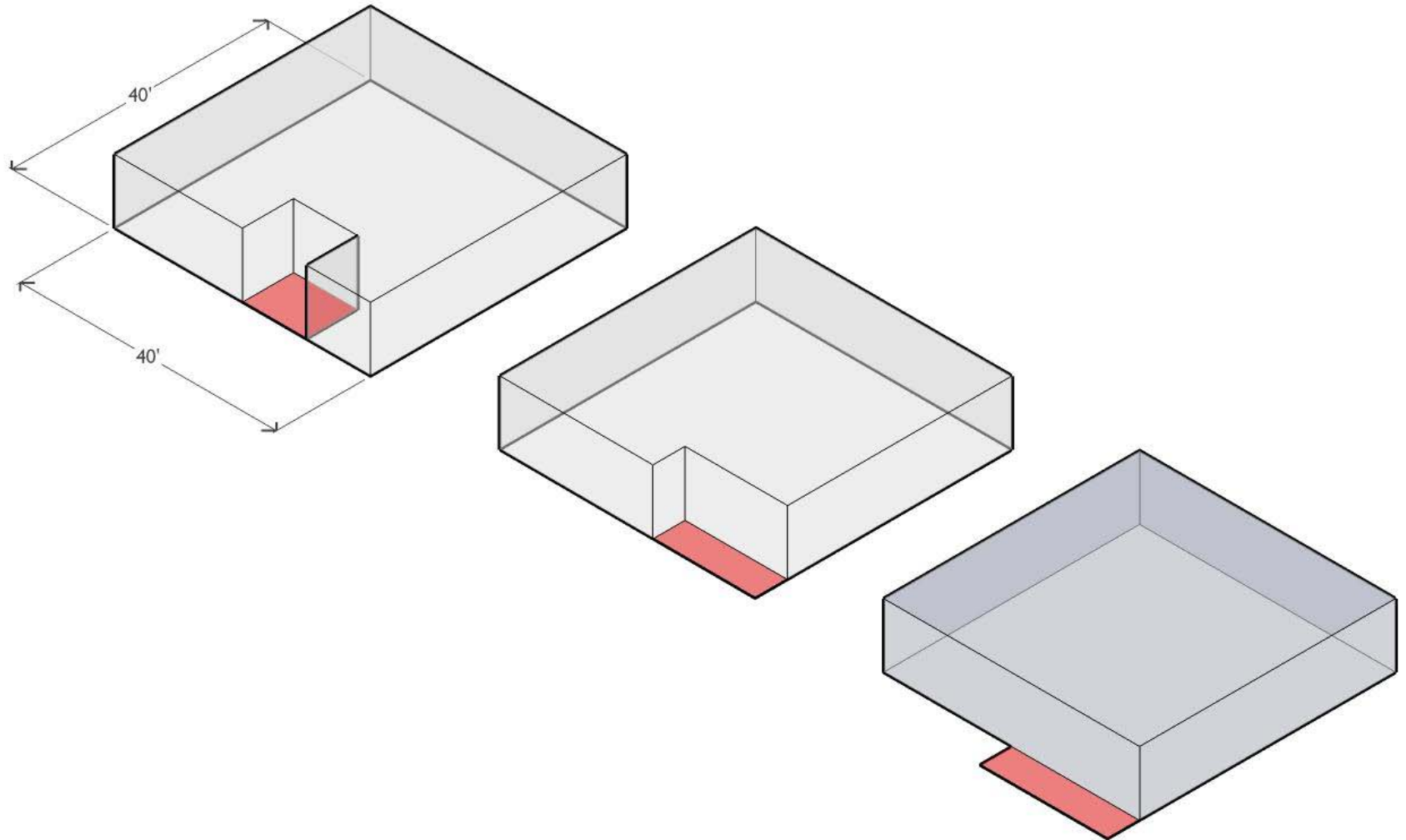
All Development

■ Front Porch/Recessed Entry

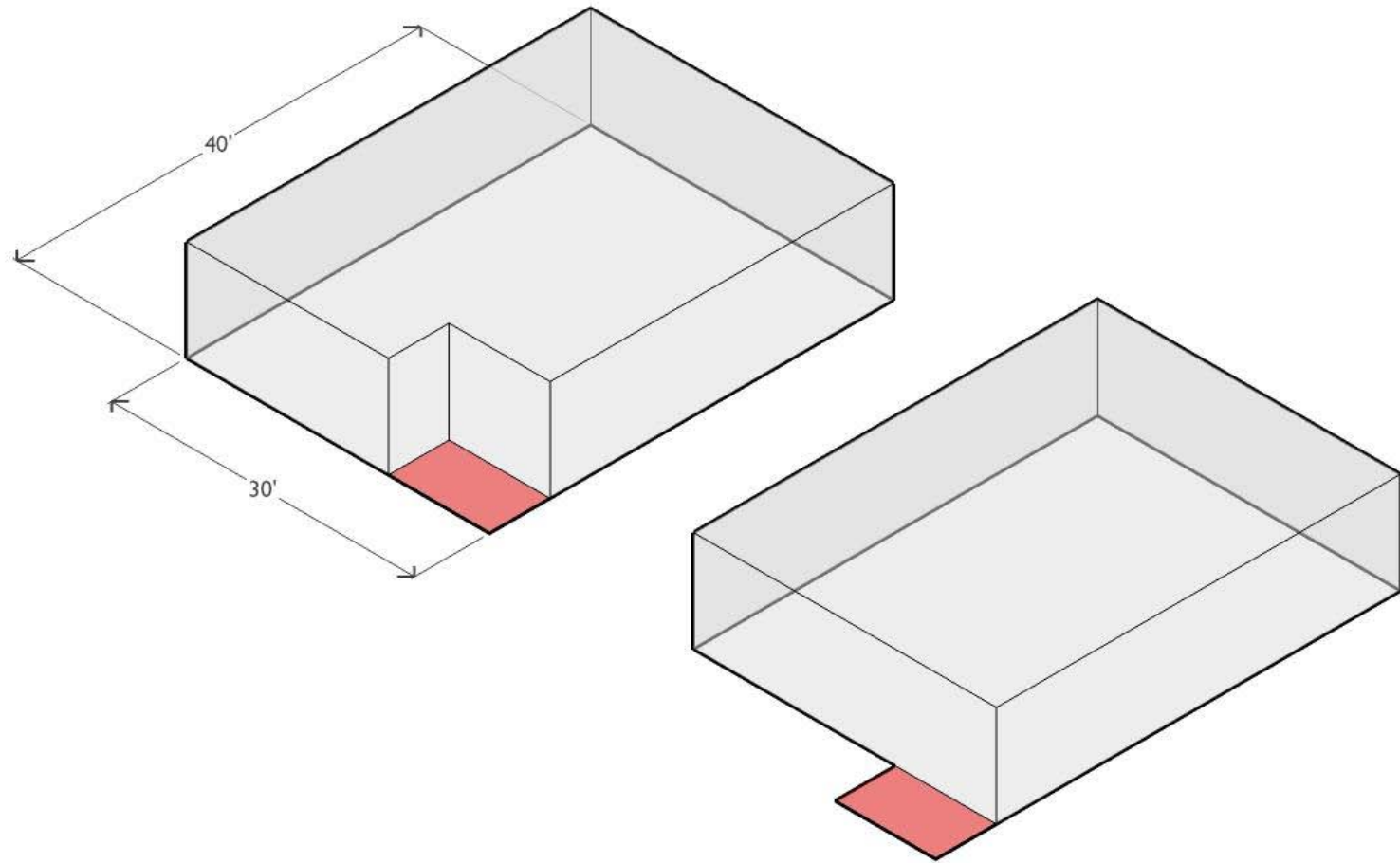
- *Minimum 5% of first floor building footprint; up to a maximum of 100'*
- *Minimum depth 5'*
- *Alternative designs that create a welcoming entry feature facing the street, such as a trellis or landscaped courtyard entry may be approved by staff*



Front Porches/Recessed Entries



Front Porches/Recessed Entries

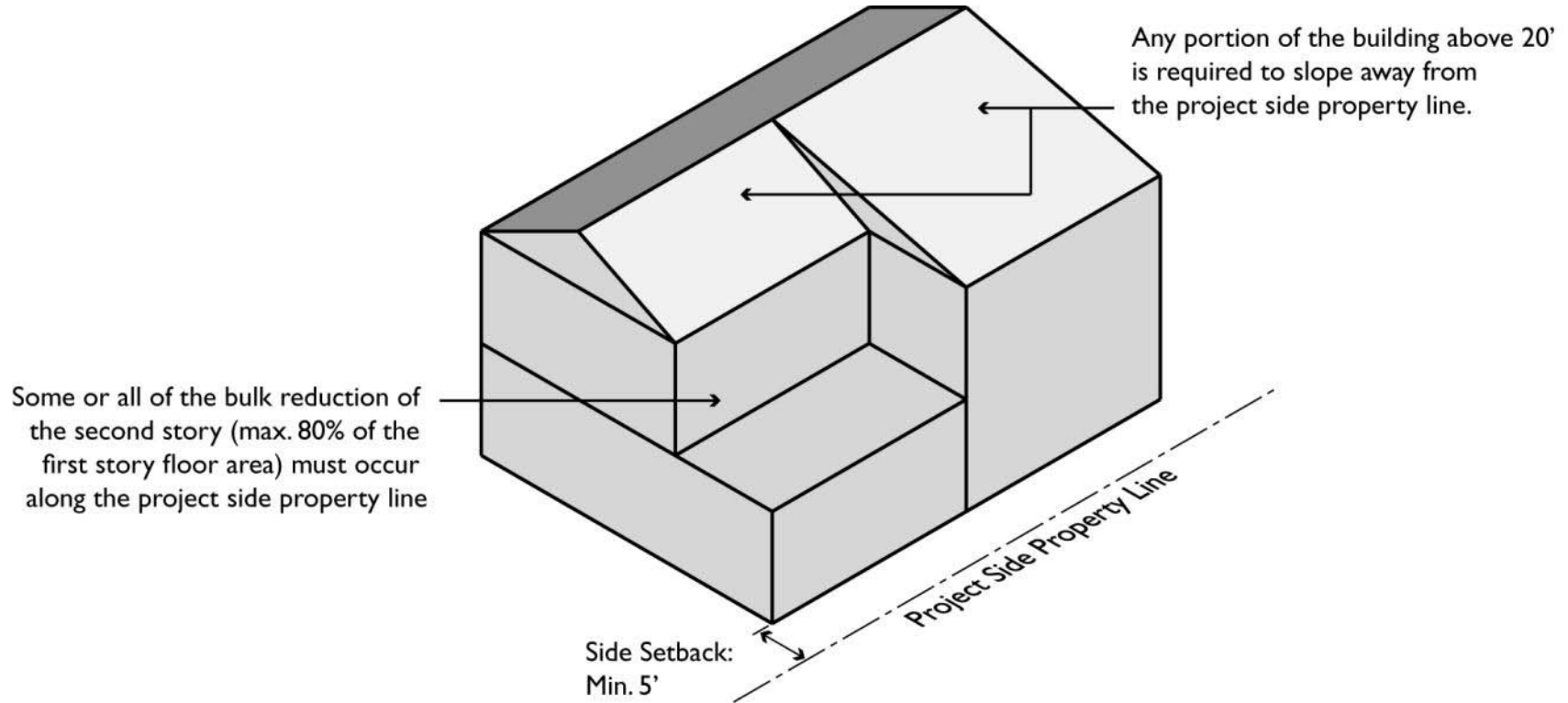


Small-Lot Single-Family

■ Height on Narrow Lots

- *Max. 25'*
- *Any portion of the building above 20' is required to slope away from the project side property line.*
- *Some or all of the bulk reduction of the second story (max. 80% of the first story floor area) must occur along the project side property line*

Small-Lot Single-Family



Development Standards

TOWNHOMES

Townhomes

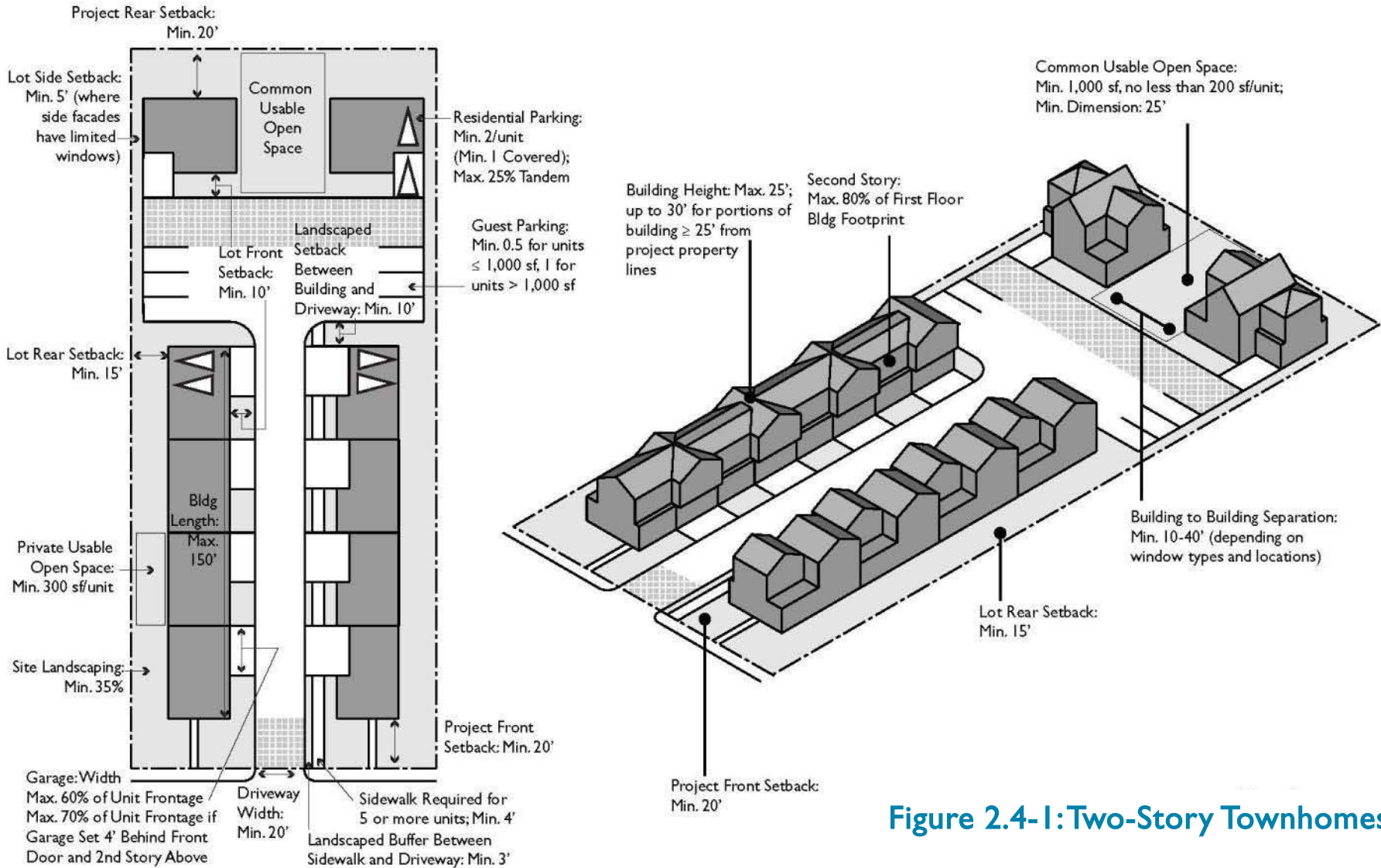


Figure 2.4-1: Two-Story Townhomes

Townhomes

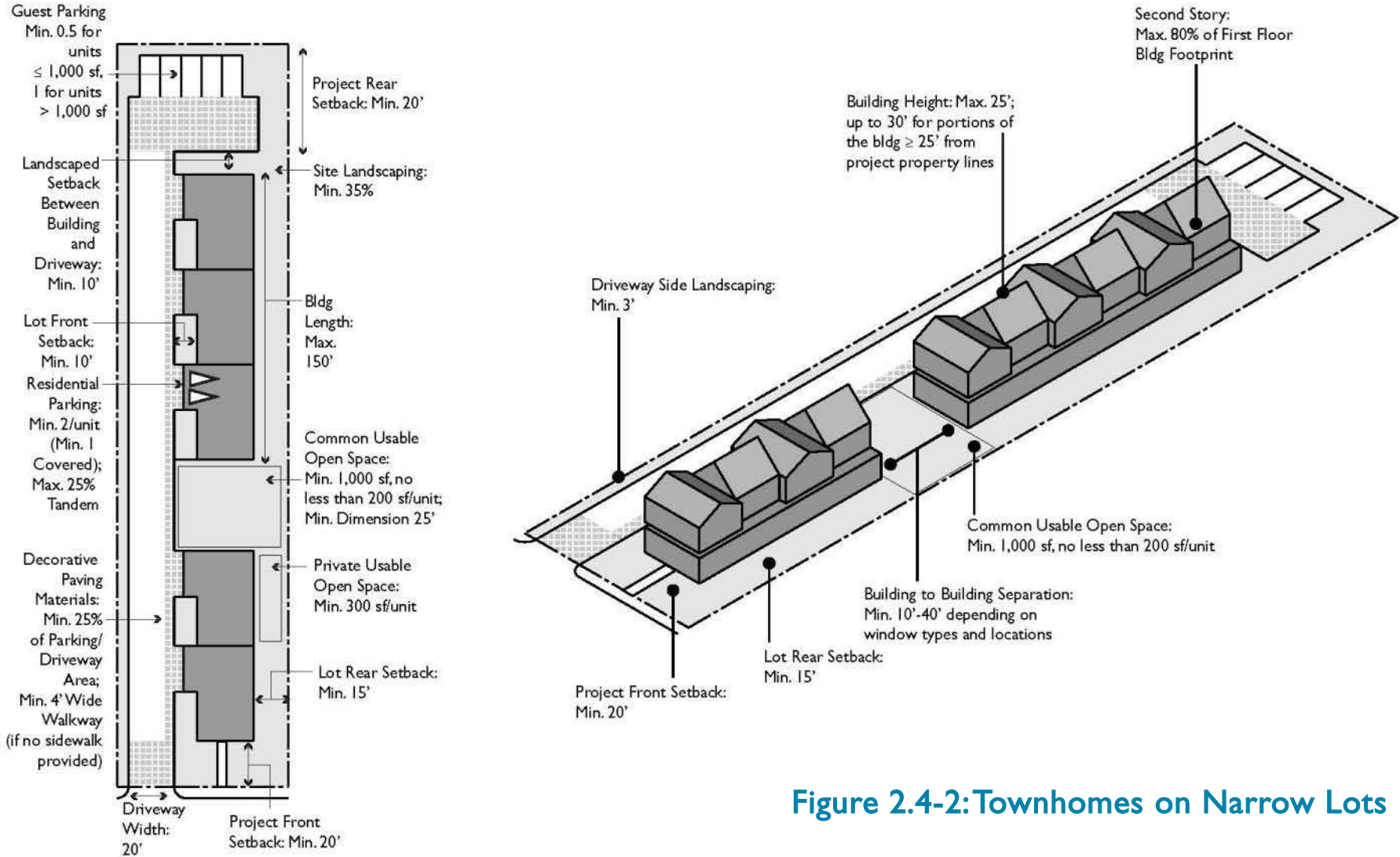


Figure 2.4-2: Townhomes on Narrow Lots

Townhomes

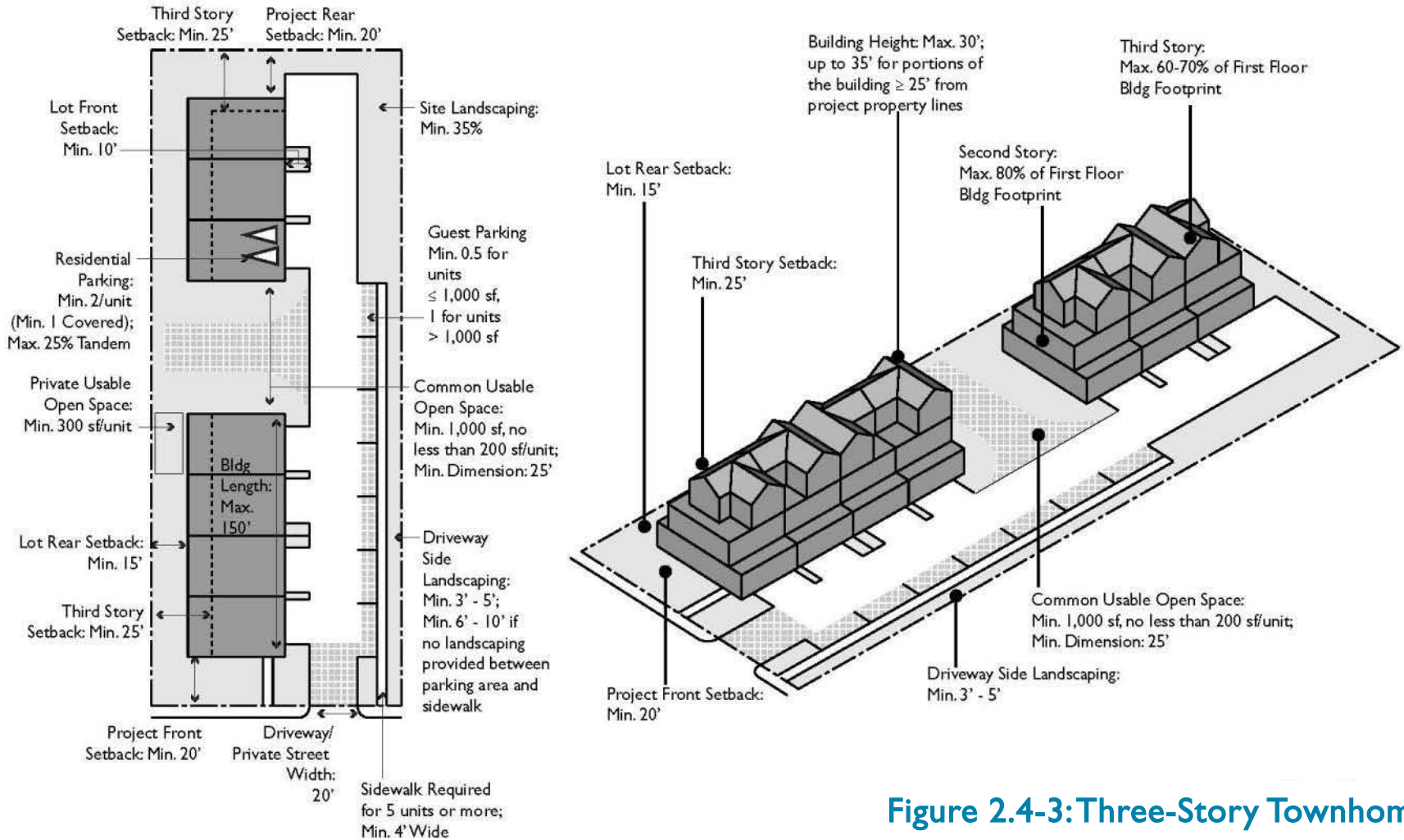


Figure 2.4-3: Three-Story Townhomes

Townhomes

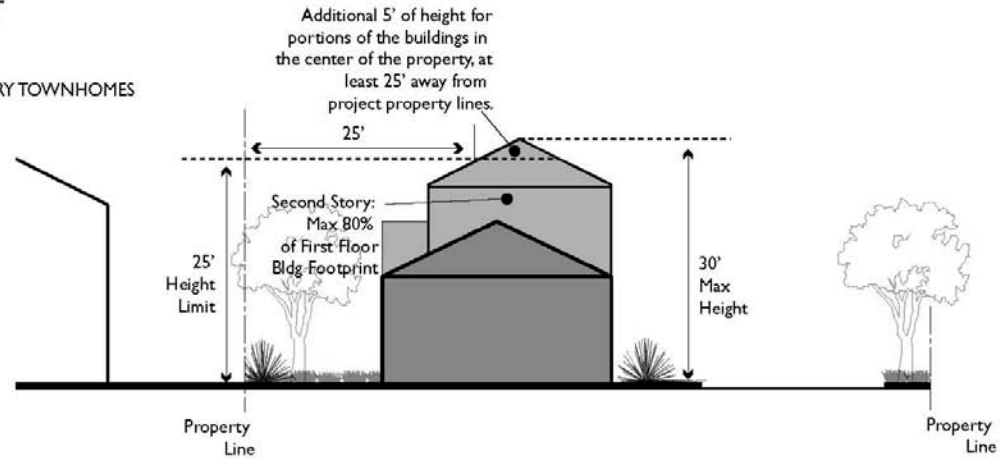
- **Minimum Project Site Width:**
 - *Two-Story Townhomes: 65'*
 - *Three-Story Townhomes: 75'*
- **Maximum Height**
 - *Two-Story Townhomes: 25'; up to 30' for portions minimum 25' away from project property lines*
 - *Three-Story Townhomes: 30'; up to 35' for portions minimum 25' away from project property lines*
- **Maximum Second/Third Story Floor Area**
 - *Second-Story: 80% of first floor building footprint*
 - *Third-Story: 70% of first floor building footprint*
- **Required Front Porch or Recessed Entry**
 - *Minimum Area: 5% of first story bldg footprint; Minimum dimension of 5'*

Townhomes

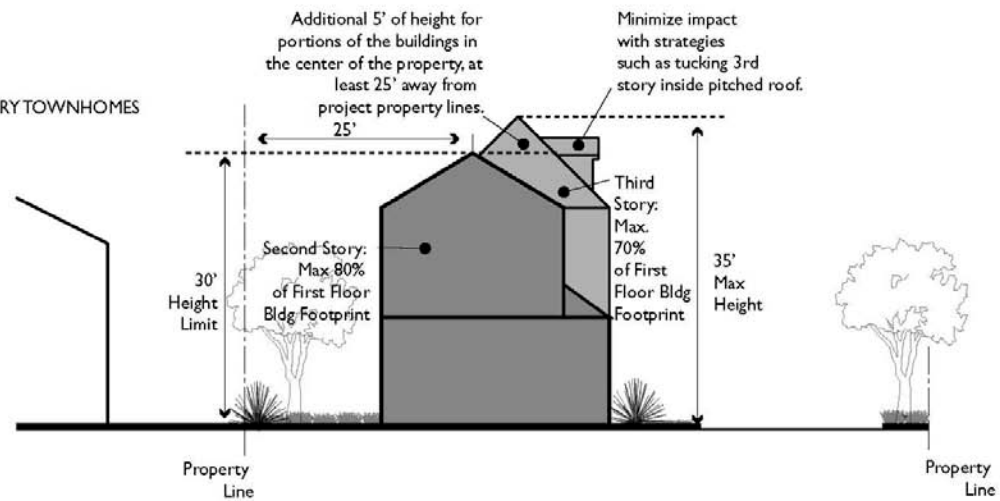
Figure 2.4-4: Height

TOWNHOMES HEIGHT

TWO-STORY TOWNHOMES



THREE-STORY TOWNHOMES

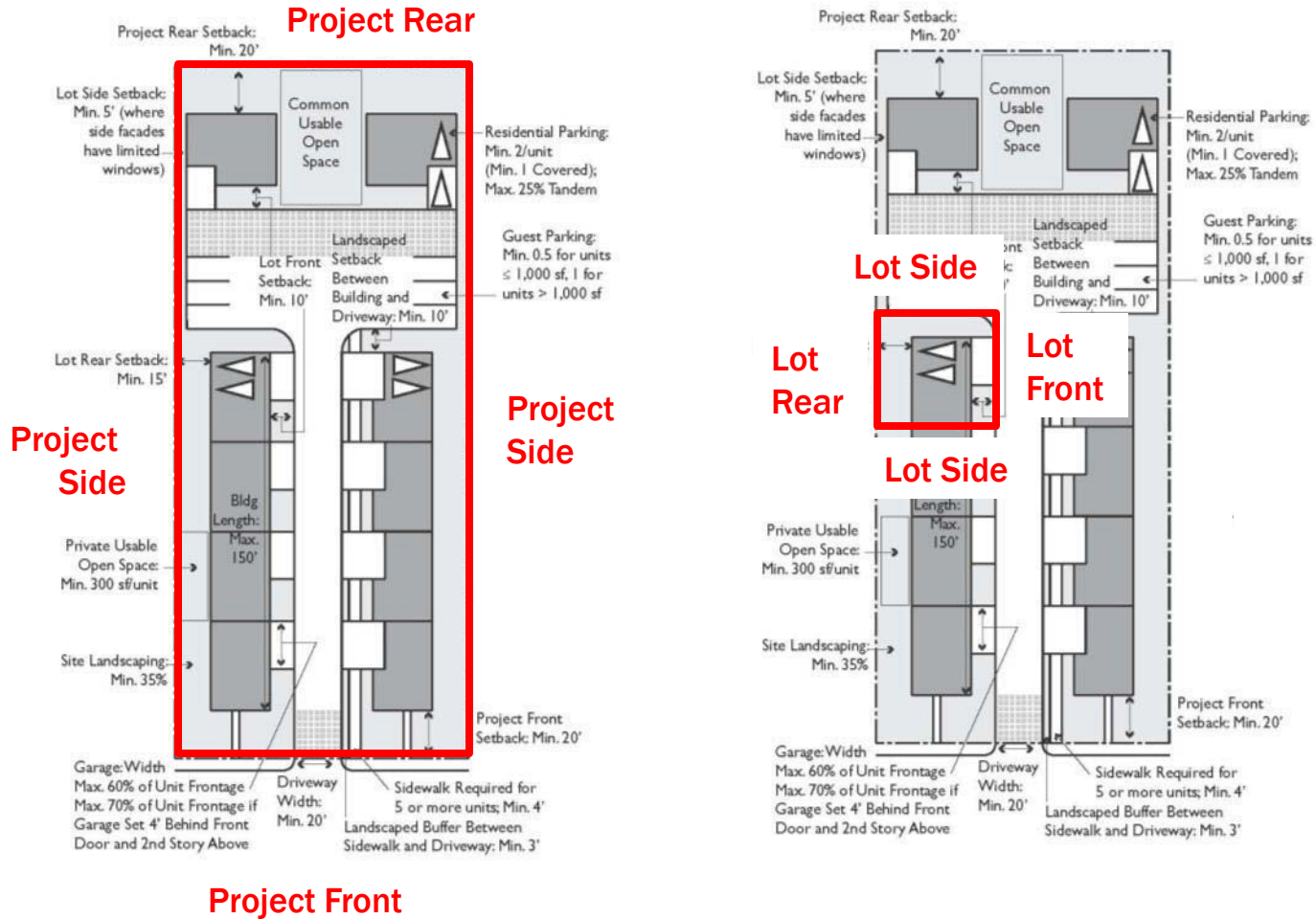


Townhomes

| Setbacks (ft) | Project | Lot (Double-Loaded) | Lot (Single-Loaded) | |
|---------------|---------------------------|---------------------|-------------------------|---|
| Front | 20 | 10 | 10; 7.5 for narrow lots | When Project and Lot setbacks overlap, the more restrictive requirement shall apply |
| Side | 5; 15 for primary windows | 0-5 | 0-5 | |
| Rear | 20 | 15 | 15 | |

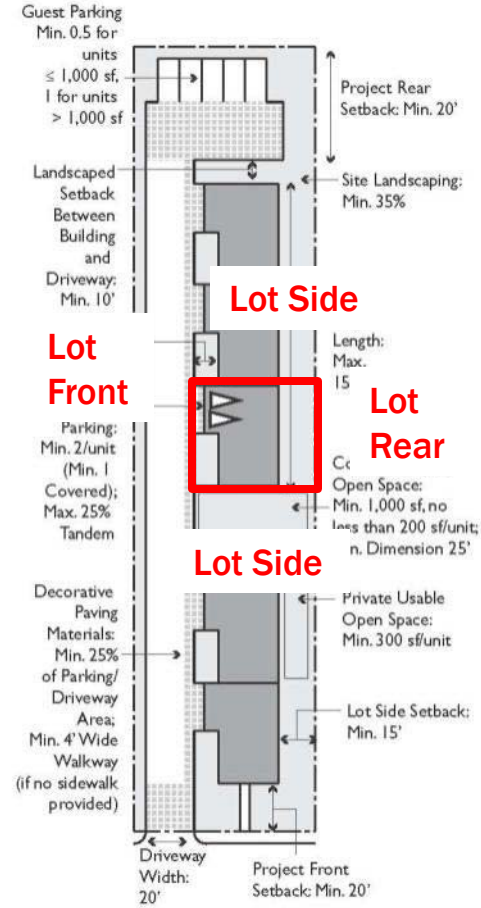
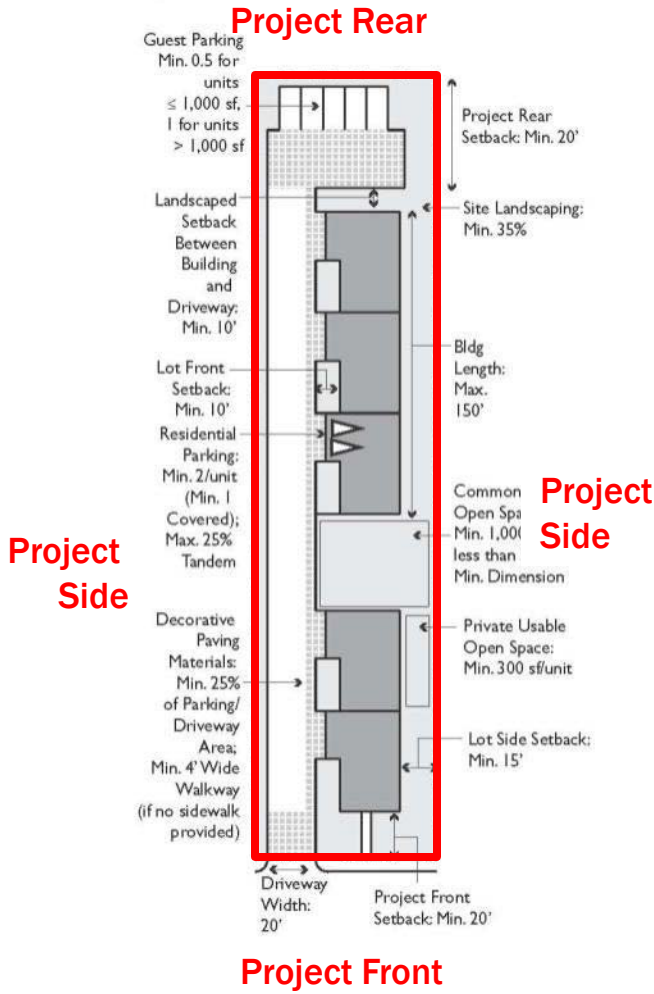
Townhomes

Project Setbacks and Lot Setbacks



Lot Setbacks

Townhomes

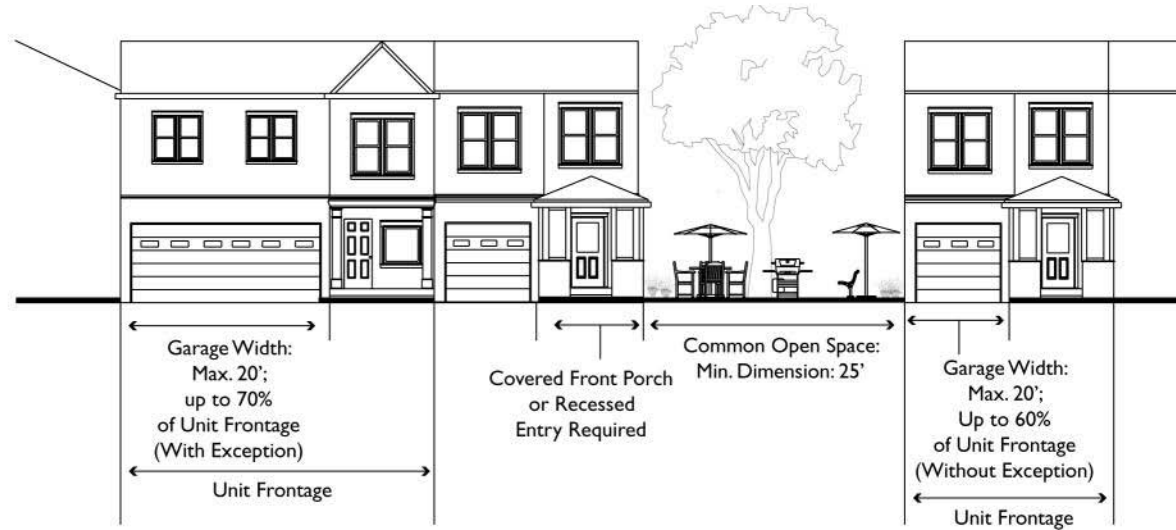


Townhomes

- **Maximum Garage Width**
 - 20'
- **Maximum Garage Width (% of Unit Frontage)**
 - 50% (*Street Facing Façade*)
 - 60% (*Two-Story, Interior Facing Façade*); 75% (*Three-Story, Interior Facing Façade*)
 - *Exception:*
 - If garage minimum 4' behind front door or second story on top of garage:
 - 70% (Two-Story, Interior Facing Façade)
 - 80% (Three-Story, Interior Facing Façade)

Townhomes

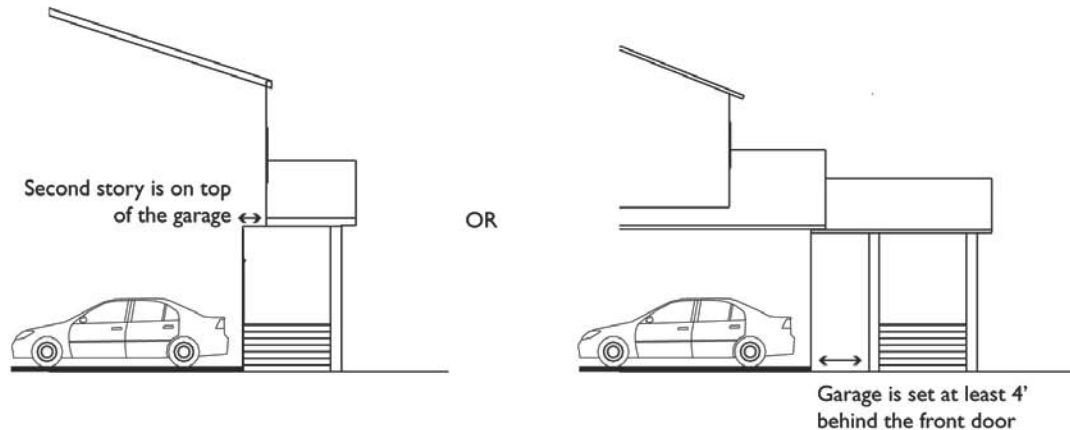
Figure 2.4-5 and 2.4-6: Garages and Garage Width Exceptions



Garage Width Exception:

Two-Story Townhomes:
Maximum 70% of Unit Frontage

IF:



Development Standards

MULTI-FAMILY RESIDENTIAL

Multi-Family Residential

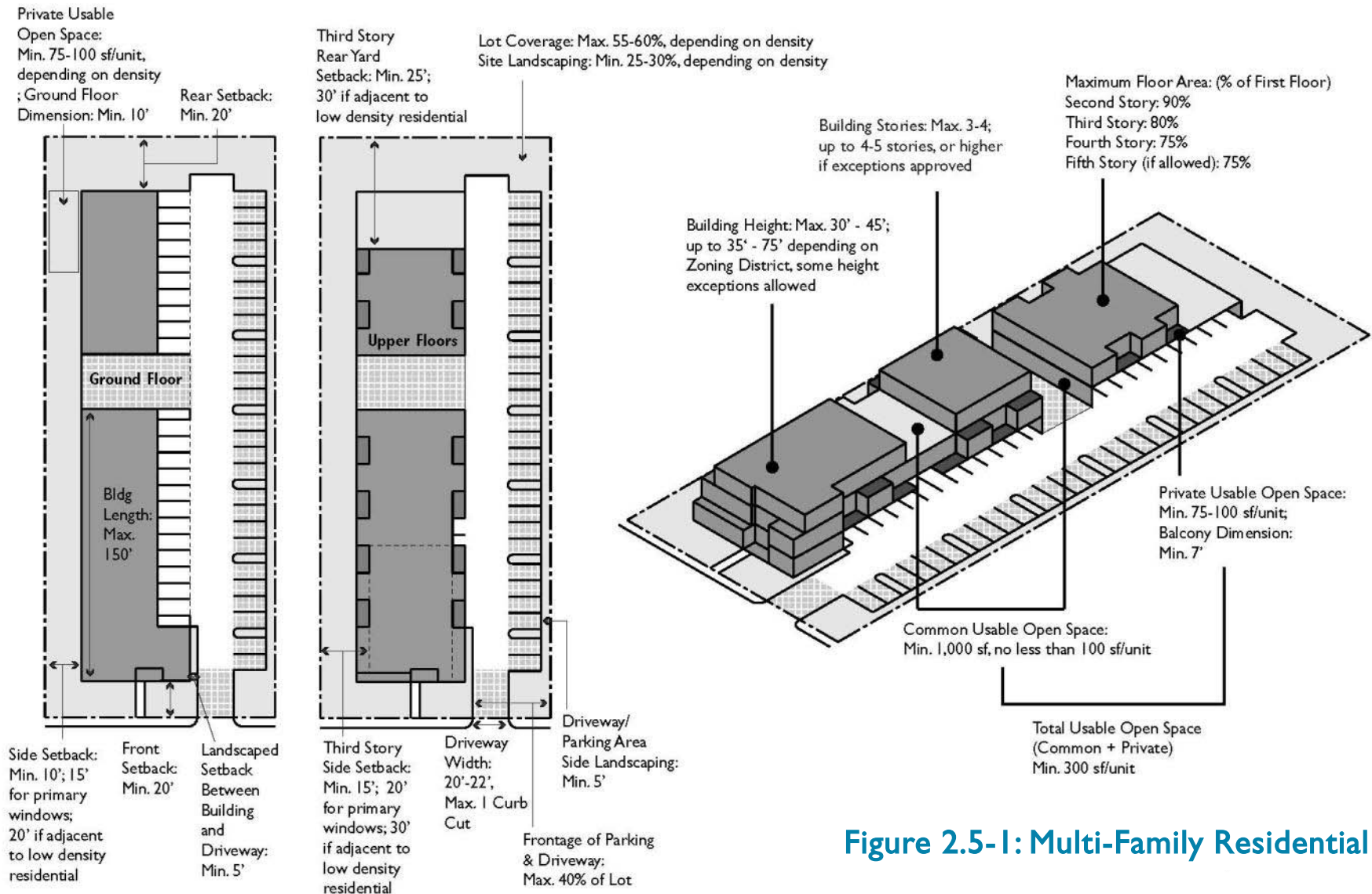


Figure 2.5-1: Multi-Family Residential

Multi-Family Residential

- Minimum Median Lot Width: 100'
- Minimum Lot Frontage for High Density Residential: 100'
- Maximum Lot Coverage
 - *Medium Density Residential: 55%*
 - *High Density Residential: 60%*

Multi-Family Residential

- **Maximum Height**

- *Medium Density Residential: 30'; up to 35' for portions a minimum 25' away from property lines and not adjacent to R-1/Low Density District*
 - ACBD-RC: 35'
 - CVCBD Land Use Group D: 45'
- *High Density Residential: 45'; up to 55' for portions a minimum 25' away from property lines and not adjacent to R-1/Low Density District*
 - R-4: up to 75'

Multi-Family Residential

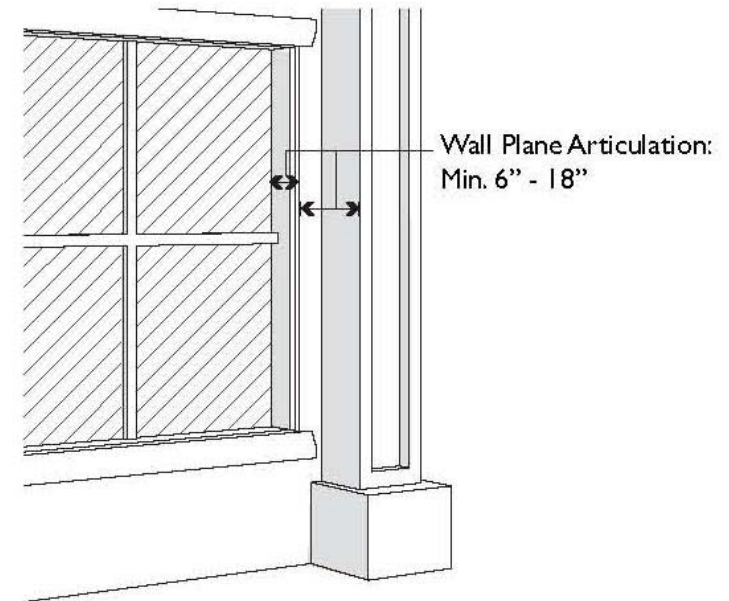
- **Maximum Floor Area (Percentage of First Story Bldg Footprint):**
 - *First Story: 100%*
 - *Second Story: 90%*
 - *Third Story: 80%*
 - *Fourth Story (if allowed): 75%*
 - *Fifth Story (if allowed): 75%*
- **Required Front Porch or Recessed Entry**
 - *Minimum depth 5'; minimum area 100 square feet*

Multi-Family Residential

Figure 2.5-9: Multi-Family Residential:
Front Setback and Elevation above Sidewalk



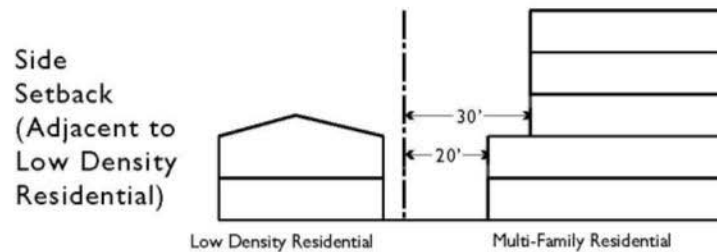
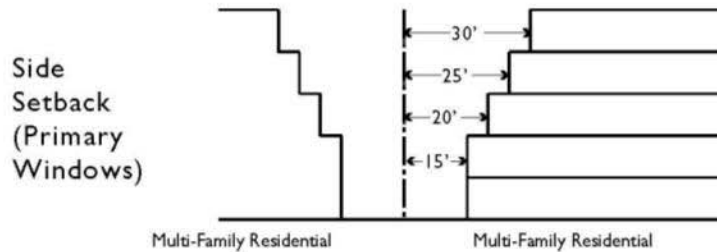
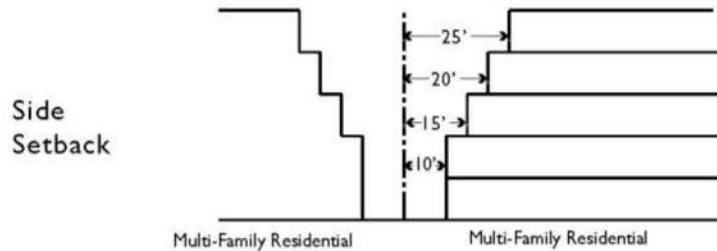
Figure 2.5-11: Multi-Family Residential:
Ground Floor Articulation



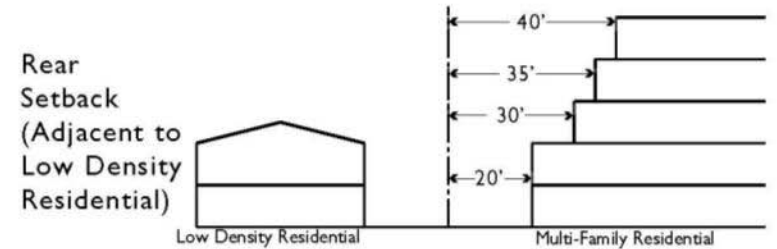
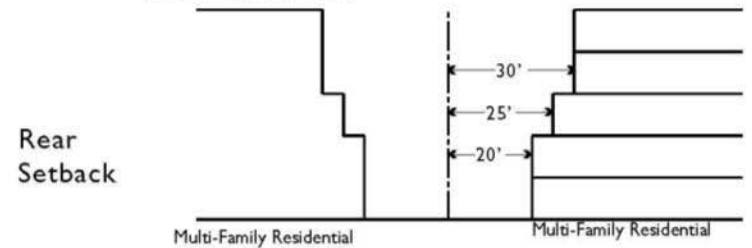
Multi-Family Residential

Setbacks

SIDE SETBACK



REAR SETBACK



Design Guidelines

For Residential Projects

Guidelines vs. Standards

■ Guidelines

- *Express design objectives with respect to specific development features or conditions*
- *Explain why a particular guideline or criterion is an appropriate way to achieve the objective*
- *Provide graphic examples and verbal description showing approaches that conform to the guidelines*

■ Standards

- *Qualitative or quantifiable rule or measure that must be satisfied*

Development Intensity and Neighborhood

- *Scale should be compatible with neighborhood*
- *Projects should enhance visual appearance of street and neighborhood*
- *Projects should contribute to curb appeal*
- *Buildings should respect need for privacy, light, and air of surrounding buildings*



Building Height and Form

- *Building Height*
 - Appropriate height and scale transitions
 - Locate taller portions of projects from adjoining properties
 - Minimize impact of third story
 - Step down building along hillside
- *Building Form and Bulk*
 - Minimize bulk with maximum building length of 150', horizontal and vertical stepbacks, changes in roof form and height, major recesses



Building Relationship to the Street

- *Front Yards*
 - Meet setback standards
 - Maximize front yard landscaping
- *Building Orientation, Entrances, and Street-Facing Facades*
 - Orient street-facing façade toward public street
 - Locate primary front entrance to face public/private street
 - Incorporate porches into street-facing facade

