RUBY ST APARTMENTS

PROJECT TEAM

PROJECT SPONSOR	CIVIL ENGINEER
EDEN HOUSING 22645 GRAND ST, HAYWARD, CA 94541 CONTACT: Ellen Morris, Senior Developer PHONE: (510)-247-8128 EMAIL: Ellen.Morris@edenhousing.org	LUK & ASSOCIATES 738 ALFRED NOBEL DR, HERCULES, CA 94547 CONTACT: Jackie Luk, PE, PLS PHONE: (510) 724-3388 EMAIL: manish@lukassociates.com
ARCHITECT	**LANDSCAPE ARCHITECT**
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CEQA CONSULTANT	**CREEK CONSULTANT**
URBAN PLANNING PARTNERS INC. 388 17TH STREET, SUITE 230, OAKLAND, CA, 94612 CONTACT: Julian Bobilev, Lynette Dias PHONE: (510) 251-8210 EMAIL: jbobilev@up-partners.com	RESTORATION DESIGN GROUP INC. 2332 5TH STREET, CUITE C, BERKELEY, CA, 94710 CONTACT: Erik Stromberg PHONE: (510) 644-2798 EMAIL: erik@rdgmail.com

PROJECT DATA

BUILDING CODE SUMMERY

OCCUPANCY: R-2
CONSTRUCTION TYPE: VA
SPRINKLERS: PER NFPA 13
MAX ALLOWABLE AREA = 72,000 SF + FRONTAGE INCREASE
MAX ALLOWABLE STORIES = 4
ACCESSIBILITY PER CBC 11-A, 11-B, and TCAC:

	STUDIOS	1BR	2BR	3BR	TOTAL
10% MOBILITY ACCESSIBILITY PER 11-B	2	2	2	2	8
4% COMMUNICATIONS ACCESSIBLITY PER 11-B	0	1	1	1	3
ADAPTABLE PER 11-A	6	25	16	17	64

REQUIRED E.V. PARKING: 4 TOTAL INCLUDING 1 VAN PARKING SPACE
4 TOTAL E.V. SPACES, INCLUDING 1 E.V. VAN PARKING SPACE PROVIDED
REQUIRED ACCESSIBLE PARKING: 5 TOTAL, INCLUDING 1 VAN SPACE
6 ACCESSIBLE SPACES TOTAL, INCLUDING 2 VAN SPACES (ONE IN EACH LOT)

BUILDING CODE NOTES

-INSTALLATION OF A NFPA 72 COMPLIANT FIRE ALARM SYSTEM WITH FIRE SPRINKLER MONITORING IS REQUIRED.
-THIS PROJECT WILL BE REQUIRED TO COMPLY WITH THE ADOPTED BUILDING AND FIRE CODES IN AFFECT AT THE TIME OF BUILDING PERMIT SUBMITTAL.
-DEFERRED SUBMITTALS:
-FIRE SPRINKLERS
-ROOF TRUSSES

UNIT COUNT BY FLOOR

Name	Count
Level 1	
1 BR	4
2 BR	5
3 BR	4
STUDIO	2
	15
Level 2	
1 BR	10
2 BR	5
3 BR	6
STUDIO	2
	23
Level 3	
1 BR	9
2 BR	6
3 BR	4
STUDIO	2
	21
Level 4	
1 BR	4
2 BR	2
3 BR	5
STUDIO	2
	13
Grand Total	72

DWELLING UNIT MIX

Unit Type	Count	Percentage
1 BR	27	38%
2 BR	18	25%
3 BR	19	26%
STUDIO	8	11%
Grand Total	72	100%

PARKING SCHEDULE

STALL TYPE	Count	Percentage
ACCESSIBLE	4	4%
ACCESSIBLE, VAN	2	2%
COMPACT	45	41%
COMPACT, TANDOM	7	6%
E.V.	3	3%
E.V., VAN	1	1%
STANDARD	45	41%
STANDARD, TANDOM	2	2%
Grand Total	109	100%

GROSS BUILDING AREA SCHEDULE

Level	Area
LEVEL 01	22381 SF
LEVEL 02	22868 SF
LEVEL 03	20916 SF
LEVEL 04	13752 SF
Grand Total	79917 SF

GROSS OPEN SPACE SCHEDULE

Level	Area
COURTYARD	14170 SF
LANDSCAPING	38027 SF
Grand Total	52197 SF

GROSS PARKING LOT AREA...

Level	Area
CRESCENT ST LOT	24480 SF
RUBY ST LOT	11936 SF
Grand Total	36416 SF

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PROJECT DESCRIPTION AND SUSTAINABILITY NOTES

PROJECT DESCRIPTION

RUBY ST APARTMENTS IS A PUBLICLY-FUNDED AFFORDABLE HOUSING DEVELOPMENT THAT FRONTS RUBY AND CRESCENT ST IN CASTRO VALLEY, CA. THE PROJECT INCLUDES CONSTRUCTION AND SITE IMPROVEMENTS FOR A 128,029 SF SITE BOUND BY RUBY ST/ INTERIOR LOT LINES TO THE EAST, "LOT C"/ INTERIOR LOT LINES TO THE SOUTH, LOT "B" TO THE WEST, AND CRESCENT AVE/ INTERIOR LOT LINES TO THE NORTH.

THE DEVELOPMENT IS A **TWO-TO-FOUR STORY WOOD FRAME BUILDING OF TYPE V-A CONSTRUCTION**. THE GROUND FLOOR CONTAINS SUPPORT FUNCTIONS FOR THE RESIDENTS, INCLUDING MAILBOXES, BIKE STORAGE, COMMUNITY ROOMS, AND MANAGEMENT OFFICES. THERE ARE ALSO LAUNDRY ROOMS LOCATED ON LEVEL 02 AND 03. THERE WILL BE **72 RESIDENTIAL DWELLING UNITS**, HALF OF WHICH ARE TWO AND THREE BEDROOM FAMILY UNITS. ACCESSIBILITY WILL BE PROVIDED FOR THE RESIDENTIAL UNITS PER CBC CHAPTER 11-A AND 11-B.

PARKING IS DIVIDED BETWEEN THE RUBY ST LOT SOUTH OF THE BUILDING AND THE CRESCENT ST LOT TO THE WEST OF THE BUILDING. **109 SPACES ARE PROVIDED**, WITH FOUR VAN AND FOUR STANDARD ACCESSIBLE PARKING SPACES. INFRASTRUCTURE FOR ELECTRIC VEHICLE CHARGING STATIONS WILL BE PROVIDED IN ACCORDANCE WITH THE CALIFORNIA GREEN BUILDING STANDARDS ('CALGREEN').

SITE IMPROVEMENTS INCLUDE A LANDSCAPED COURTYARD, NEW STREET TREES, SIDEWALKS AND ACCESSIBILITY RAMPS ON RUBY ST AND CRESCENT AVE, AND A LARGE BIO-RETENTION AREA THAT WILL CONTRIBUTE TO STORMWATER MANAGEMENT. NEW SIDEWALKS AND SITE IMPROVEMENTS WILL BE FULLY ACCESSIBLE.

RUBY ST APARTMENTS WILL BE GREENPOINT RATED AND COMPLY WITH THE GREEN BUILDING ORDINANCE. THERE WILL BE SOLAR PANELS AND SOLAR WATER HEATER PANELS ON THE ROOF. CONNECTIONS FOR ELECTRIC VEHICLE EQUIPMENT WILL BE ROUGHED-IN AS REQUIRED.

PLANNING CODE SUMMARY

ASSESSOR'S PARCEL NUMBER: (LOT MERGER PENDING) **LOT AREA:** "LOT A": 128,029 SF (2.94 ACRES)

THIS PROJECT HAS BEEN DESIGNED UNDER THE R-S-D20 RESIDENTIAL MULTI-FAMILY ZONING DISTRICT
ADDRESS: RUBY ST, CASTRO VALLEY, CA 94546

STANDARDS	REQUIRED	PROPOSED	NOTES, DENSITY BONUS CONCESSION, WAIVER, OR CONDITIONAL USE PERMIT
MINIMUM BUILDING SITE (SF)	5,000 SF	128,029 SF	NONE
MAXIMUM DENSITY (DU/AC)	21.8 DU/ AC + 35% PER DENSITY BONUS = **29.43 DU/AC**	(72 / 2.94) = **24.49 DU/ AC**	DENSITY BONUS
MINIMUM AREA PER DWELLING UNIT (SF)	2,000 SF PER UNIT * 72 UNITS = **144,000 SF**	128,029 SF	
MAXIMUM LOT COVERAGE (%)	55%	23,244 / 128,029 = .18 = **18%**	NONE
MAXIMUM HEIGHT (FT)	30' 35' (IF 25' FROM PROPERTY LINE AND NOT ADJACENT TO R-1 AND OTHER LOW RISE RESIDENTIAL)	55' MAXIMUM RIDGE ELEVATION	DENSITY BONUS WAIVER
MAXIMUM STORIES	3 STORIES	2, 3, AND 4 STORIES	
MAXIMUM BUILDING LENGTH (FT)	150 FT	116' - 8"	NONE
MAXIMUM FRONT YARD PAVING (%)	50%	**11%** (50 FT PAVING IN RUBY ST SETBACK / 437 FT RUBY ST FRONTAGE = .114)	NONE
MINIMUM FRONT SETBACK (FT)	20 FT	10 FT	DENSITY BONUS WAIVER
MINIMUM SIDE SETBACK, ADJACENT TO R-1 (FT)	FIRST STORY: 20 FT SECOND STORY: 20 FT THIRD STORY: 30 FT FOURTH STORY: 30 FT	FIRST STORY: 16 FT SECOND STORY: 16 FT THIRD STORY: 16 FT FOURTH STORY: 16 FT	
MINIMUM SETBACK FROM DRIVEWAY (FT)	5 FT	10 FT	NONE
MINIMUM ACCESS DRIVEWAY WIDTH (FT)	20 FT	26 FT	NONE
MAXIMUM FRONTAGE OF PARKING AND DRIVEWAYS (%)	40%	48% (209 PARKING AND DRIVEWAY / 437 FT RUBY ST FRONTAGE = .478	DENSITY BONUS WAIVER
MAXIMUM FRONTAGE OF PARKING (%)	30%	36% (156 PARKING / 437 FT RUBY ST FRONTAGE = .357	
UNIT PARKING (PER UNIT)	STUDIO: 1 ONE BEDROOM: 1.5 TWO BEDROOMS OR MORE: 2 (1*8) + (1.5*27) + (2*18) + (2*19) = 8 + 40.5 + 36 + 38 = **123 SPACES REQUIRED** 1 SPACE PER UNIT COVERED = **72 COVERED PARKING SPACES REQUIRED**	STUDIO: 1 ONE BEDROOM: 1 TWO BEDROOMS OR MORE: 2 (1*8) + (1*27) + (2*18) + (2*19) = 8 + 27 + 36 + 38 = 109 SPACES REQUIRED 35 SPACES IN RUBY ST LOT + 73 SPACES IN CRESCENT ST LOT = **109 TOTAL SPACES PROVIDED** (INCLUDES 40 COMPACT SPACES AND 6 ACCESSIBLE SPACES) NO COVERED PARKING PROVIDED	DENSITY BONUS
GUEST PARKING (PER UNIT)	0.5 SPACES PER UNIT = 36 SPACES TOTAL	NONE	DENSITY BONUS
MINIMUM DECORATIVE DRIVEWAY PAVING (%)	10%	3,049 SF OF DECORATIVE PAVING (2,125 SF OF RUBY ST LOT + 1,942 SF OF CRESCENT ST LOT) / 36,416 SF TOTAL PARKING LOT AREA = **14% PROVIDED**	NONE
BICYCLE PARKING (TABLE 20-210)	1 PER 4 UNITS = 18 RESIDENT SPACES REQUIRED 1 PER 25 UNITS = 3 GUEST SPACES REQUIRED	56 RESIDENT SPACES PROVIDED 8 GUEST SPACES PROVIDED	NONE
MINIMUM SITE LANDSCAPING (%)	30%	14,213 SF IN ENCLOSED COURTYARD 38,624 SF OTHER SITE LANDSCAPING 14,213 + 38,624 / 128,029 = 0.412 = **42%**	NONE
MINIMUM WIDTH OF DRIVEWAY SIDE LANDSCAPING (FT)	5 FT	6 FT MINIMUM	NONE
MINIMUM TOTAL USABLE OPEN SPACE (SF PER UNIT)	350 SF PER UNIT * 72 UNITS = **25,200 SF REQUIRED PER UNIT**	52,837 SF OPEN SPACE / 72 UNITS = **733.85 SF PER UNIT**	NONE
MINIMUM COMMON USABLE OPEN SPACE (SF PER UNIT)	NO LESS THAN 100 SF PER UNIT 100 * 72 = **7,200 SF REQUIRED**	14,213 SF OPEN SPACE IN COURTYARD	NONE
MINIMUM PRIVATE USABLE OPEN SPACE (SF PER UNIT)	100 SF PER UNIT	NONE	DENSITY BONUS CONCESSION
MINIMUM STORAGE AREA (CUBIC FEET PER UNIT)	100 CUBIC FEET PER UNIT+ 75 CUBIC FEET PER BEDROOM. MAX OF 250 CUBIC FEET PER UNIT	NONE	DENSITY BONUS CONCESSION

VICINITY MAP

SHEET INDEX

SHEET LIST	
SHEET NUMBER	SHEET NAME
01 GENERAL	
G0.00	COVER SHEET
G0.01	FIRE ACCESS DIAGRAMS
G0.02	EGRESS PATH DIAGRAMS
02 CIVIL	
C-0.1	LOT LINE ADJUSTMENT
C-0.2	LOT LINE ADJUSTMENT
C-0.3	LOT LINE ADJUSTMENT
C-1.1	TOPOGRAPHIC & BOUNDARY SURVEY
C-1.2	TOPOGRAPHIC & BOUNDARY SURVEY
C-1.3	PROPOSED BOUNDARY (LOT LINE ADJUSTMENT)
C-1.4	LOT LINE ASJUSTMENT
C-4.1.1	GRADING PLAN - ELEVATIONS
C-4.1.2	GRADING PLAN - ELEVATIONS
C-4.1.3	GRADING PLAN - SECTIONS
C-5.1	UTILITY PLAN
C-5.2	UTILITY PLAN
C-6.1	STORMWATER TREATMENT PLAN
C-6.2	STORMWATER TREATMENT PLAN
C-7.1	EROSION CONTROL PLAN
03 LANDSCAPE	
L1.1	LANDSCAPE PLAN
L1.2	LANDSCAPE PLAN - COURTYARD
L2.1	PRECEDENT IMAGES AND CONCEPT DETAILS
L3.1	PLANTING PLAN
L4.1	TREE PROTECTION AND REMOVAL PLAN
L4.2	TREE MITIGATION PLAN
04 ARCHITECTURAL	
A1.01	SITE PLAN - GROUND FLOOR
A2.01	LEVLE 01 FLOOR PLAN
A2.02	LEVEL 02 FLOOR PLAN
A2.03	LEVEL 03 FLOOR PLAN
A2.04	LEVEL 04 FLOOR PLAN
A2.05	ROOF PLAN
A3.01	COLOR AND MATERIALS BOARD
A3.03	BUILDING ELEVATIONS
A3.04	BUILDING ELEVATIONS
A3.05	BUILDING ELEVATIONS

RUBY ST

Ruby St, Castro Valley, CA 94546

STAMP:

REVISION SCHEDULE

NO.	ISSUE	DATE

JOB NUMBER:	1744
DRAWN BY:	KJ
CHECKED BY:	CC
DATE:	01/27/2020
SCALE:	12" = 1'-0"

TITLE:
COVER SHEET

SHEET:
G0.00

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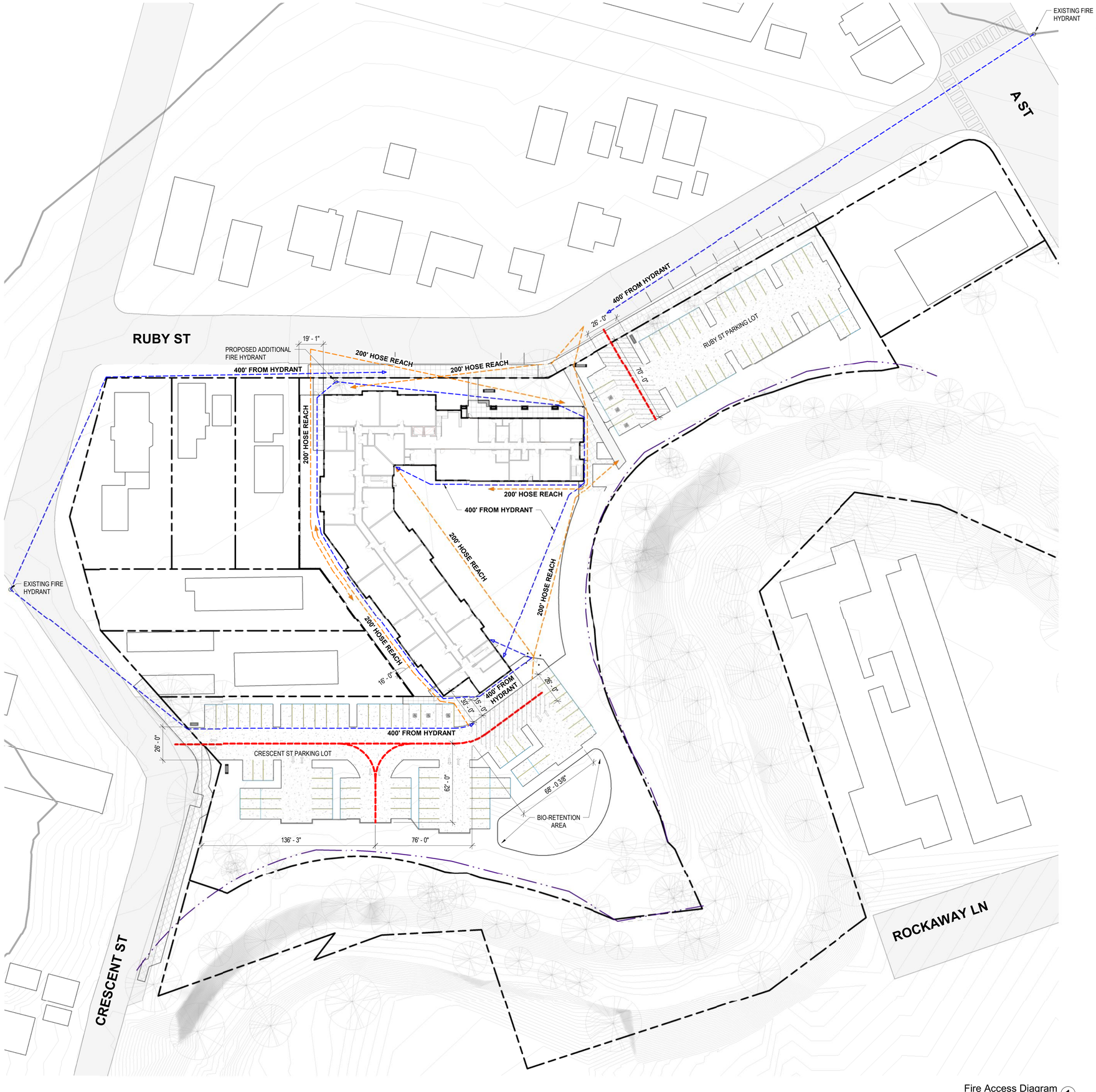

Fire Access Diagram 1
1" = 30'-0"

ABBREVIATIONS

AB	ANCHOR BOLT
ABV	ABOVE
A/C	AIR CONDITIONING
AC	ASPHALTIC CONCRETE
ACC	ACCESSIBLE
A.C.P.	ACOUSTIC CEILING PANEL
A.C.T.	ACOUSTIC CEILING TILE
A.D.	AREA DRAIN
ADDL	ADDITIONAL
ADDM	ADDENDUM
ADH	ADHESIVE
ADJ	ADJACENT OR ADJUSTABLE
AFF	ABOVE FINISHED FLOOR
ALUM	ALUMINIUM
ALT	ALTERNATIVE
AMT	AMOUNT
ANOD	ANODIZED
AP	ACCESS PANEL
APL	ASSUMED PROPERTY LINE
APPROX	APPROXIMATE
ARCH	ARCHITECT(URAL)
ASSY	ASSEMBLY
A/V	AUDIO VISUAL
AUTO	AUTOMATIC
BALC	BALCONY
BATT	BATTING
BD	BOARD
BLDG	BUILDING
BLKG	BLOCKING
BM	BEAM
B.O.C.	BOTTOM OF CURB
B.O.D.	BASIS OF DESIGN
BOT	BOTTOM
B.O.W.	BACK OF SIDEWALK
BRKT	BRACKET
BTW, B/W	BETWEEN
BUR	BUILT UP ROOFING
CAB	CABINET
CEM	CEMENT
CEM PLAS	CEMENT PLASTER
CIP	CAST IN PLACE
CJ	CONTROL JOINT
CL	CENTERLINE
CL.	CLOSET
CLG	CEILING
CLKG	CAULKING
CLR	CLEAR
CMU	CONCRETE MASONRY UNIT
COL	COLUMN
CONC	CONCRETE
CONN	CONNECTION
CONT	CONTINUOUS
CONST	CONSTRUCTION
CONTR	CONTRACTOR
CSMT	CASEMENT
CT	CERAMIC TILE
CTSK	COUNTERSINK
D	DRYER
DBL	DOUBLE
DEMO	DEMOLISH OR DEMOLITION
DF	DOUGLAS FIR
DIA	DIAMETER
DIM	DIMENSION
DN	DOWN
DS	DOWNSPOUT
DTL	DETAIL
DW	DISHWASHER
DWG	DRAWING
(E)	EXISTING
EA	EACH
EB	EXPANSION BOLT
EJ	EXPANSION JOINT
ELEV	ELEVATION OR ELEVATOR
ELEC	ELECTRIC
ENCL	ENCLOSURE, ENCLOSED
EP	ELECTRIC PANEL
EQ	EQUAL
EQPT	EQUIPMENT
EXP	EXPANSION
EXT	EXTERIOR
FACP	FIRE ALARM CONTROL PANEL
FAU	FORCED AIR UNIT
FCB	FIBER CEMENT BOARD
FCP	FIBER CEMENT PANEL
FD	FLOOR DRAIN OR FIRE DEPARTMENT
FDN	FOUNDATION
FE	FIRE EXTINGUISHER
FEC	FIRE EXTINGUISHER CABINET
FF	FINISHED FLOOR
FIN	FINISH OR FINISHED
FLEX	FLEXIBLE
FLR	FLOOR
F.O.B.	FACE OF BEAM
F.O.C.	FACE OF CONCRETE
F.O.F.	FACE OF FINISH
F.O.S.	FACE OF STUD
F.O.W.	FACE OF WALL
FR	FIRE RESISTANCE
FRTW	FIRE RETARDANT TREATED WOOD
FRP	FIBER REINFORCED PLASTIC
FT	FOOT
FTG	FOOTING
GA	GAUGE
GALV	GALVINIZED
GAR	GARAGE
GFCI	GROUND FAULT CIRCUIT INTERRUPTER
GLAZ	GLAZING
GSM	GALVINIZED SHEET METAL
GWB	GYPSUM WALL BOARD
GYP	GYPSUM
HB	HOSE BIB
HC	HOLLOW CORE
HD	HOLD-DOWN
HM	HOLLOW METAL
HORIZ	HORIZONTAL
H PLAM	HIGH PRESSURE LAMINATE
HR	HOUR OR HANDRAIL
HSS	TUBE STEEL
HT	HEIGHT
HVAC	HEATING, VENTILATION, AIR-CONDITIONING
HYD	HYDRANT
IIC	IMPACT INSULATION CLASS
IN	INCHES
INSUL	INSULATION
INT	INTERIOR

JAN	JANITOR
JT	JOINT
KD	KILN DRIED
KIT	KITCHEN
KPL	KICK PLATE
L	ANGLE
LAU	LAUNDRY
LAV	LAVATORY
LIN	LINOLEUM
LVT	LUXURY VINYL TILE
LVL	LEVEL
MAX	MAXIMUM
MB	MACHINE BOLT
MC	MEDICINE CABINET
MECH	MECHANICAL
MTL	METAL
MFR	MANUFACTURER
MIN	MINIMUM
MTD	MOUNTED
N/A	NOT APPLICABLE
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
O/	OVER
OC	ON CENTER
OD	OUTSIDE DIAMETER
OFC	OFFICE
OFD	OVERFLOW DRAIN
OH	OVERHEAD
OITC	OUTSIDE-INSIDE TRANSMISSION CLASS
OPP	OPPOSITE
OPP HD/OPH	OPPOSITE HAND
OPNG	OPENING
PCC	PRECAST CONCRETE
PERF	PERFORATED
PL.	PLATE
P.L.	PROPERTY LINE
PLAM	PLASTIC LAMINATE
PR	PAIR
PT	PRESSURE TREATED OR POST TENSIONED
PTD	PAINT
PLYWD, PLY	PLYWOOD
PREFAB	PREFABRICATED
PV	PHOTOVOLTAIC
PVC	POLYVINYL CHLORIDE (RIGID)
QTY	QUANTITY
R	RISER
RCP	REFLECTED CEILING PLAN
REF	REFER(ENCE) OR REFRIGERATOR
REINF	REINFORCE(D) (ING) (MENT)
REQ	REQUIRED
RESIL	RESILIENT
RFG	ROOFING
RM	ROOM
RO	ROUGH OPENING
RWL	RAINWATER LEADER
SAF	SELF-ADHERED FLASHING
SC	SOLID CORE
S.C.D	SEE CIVIL DRAWINGS OR SEE CONCRETE DRAWINGS
SD	STORM DRAIN
SHV	SHELVES (ING)
SQ IN	SQUARE INCH
S.S.D	SEE STRUCTURAL DRAWINGS
SECT	SECTION
S.E.D.	SEE ELECTRICAL DRAWINGS
SF	SQUARE FOOT OR SUBFLOOR
SG	SAFETY GLAZING
SIM	SIMILAR
S.L.D	SEE LANDSCAPE DRAWINGS
SM	SHEET METAL
S.M.D.	SEE MECHANICAL DRAWINGS
SP	STANDPIPE
S.P.D.	SEE PLUMBING DRAWINGS
SPECS	SPECIFICATIONS
SQ	SQUARE
SS	SANITARY SEWER
SSTL, SS	STAINLESS STEEL
STC	SOUND TRANSMISSION CLASS
STD	STANDARD
STL	STEEL
STOR	STORAGE
STRUCT, STRL	STRUCTURAL
SUSP	SUSPENDED
SUSP CLG	SUSPENDED CEILING
SV	SHEET VINYL
SYS	SYSTEM
T&G	TONGUE AND GROOVE
TDS	TIE DOWN SYSTEM
TEL	TELEPHONE
TEMP	TEMPERATURE OR TEMPORARY
TEMP GL	TEMPERED GLASS
THK	THICK(NESS)
T.O.	TOP OF
T.O.C.	TOP OF CONCRETE
T.O.PL.	TOP OF PLATE
T.O.S.	TOP OF SLAB
T.O.SF.	TOP OF SUBFLOOR
T.O.W.	TOP OF WALL
TPD	TOILET PAPER DISPENSER
T	TREAD OR TEMPERED
TYP	TYPICAL
UL	UNDERWRITERS LABORATORY
UON	UNLESS OTHERWISE NOTED
VCT	VINYL COMPOSITION TILE
VERT	VERTICAL
VEST	VESTIBULE
VGDF	VERTICAL GRAIN DOUGLAS FIR
VIF	VERIFY IN FIELD
W	WASHER
W/	WITH
WC	WATER CLOSET
W/D	STACKED WASHER AND DRYER
WD	WOOD
WDW	WINDOW
WH	WATER HEATER
W/O	WITHOUT
W.O.	WHERE OCCURS
WP	WATERPROOF
WRB	WEATHER RESISTIVE BARRIER
WS	WHEELSTOP
WSCT	WAINSCOT
WWF	WELDED WIRE FABRIC

SITE PLAN KEY

- PROPERTY LINE
- FEMA FLOODPLAIN
- CREEK SETBACK
- 200' HOSE LENGTH FROM TRUCK
- 400' HOSE LENGTH FROM HYDRANT
- FIRE TRUCK ACCESS

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JOB NUMBER:	1744
DRAWN BY:	KJ
CHECKED BY:	CC
DATE:	01/27/2020
SCALE:	As indicated

TITLE:
FIRE ACCESS DIAGRAMS

SHEET:
G0.01

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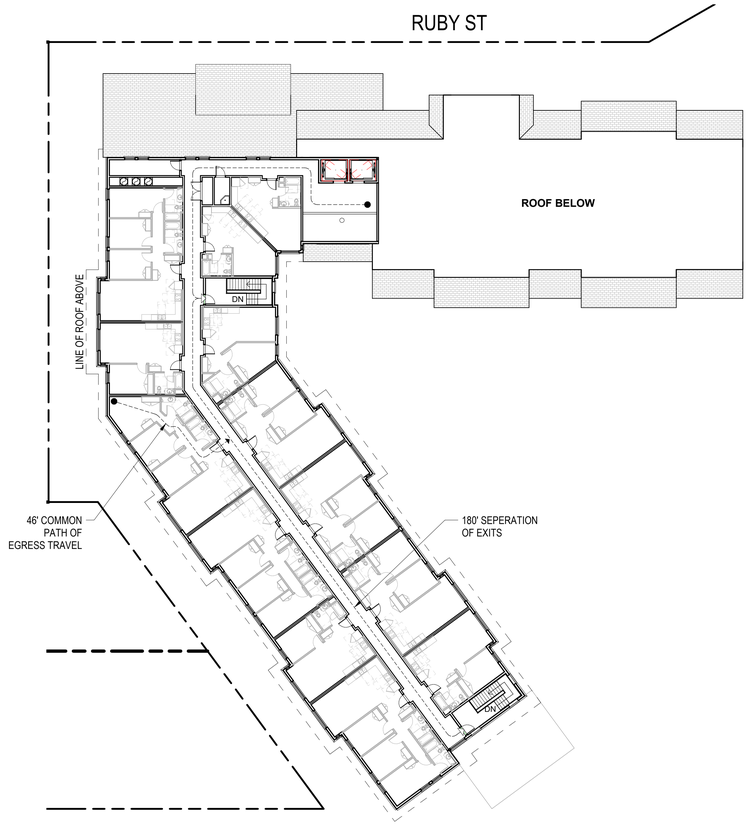
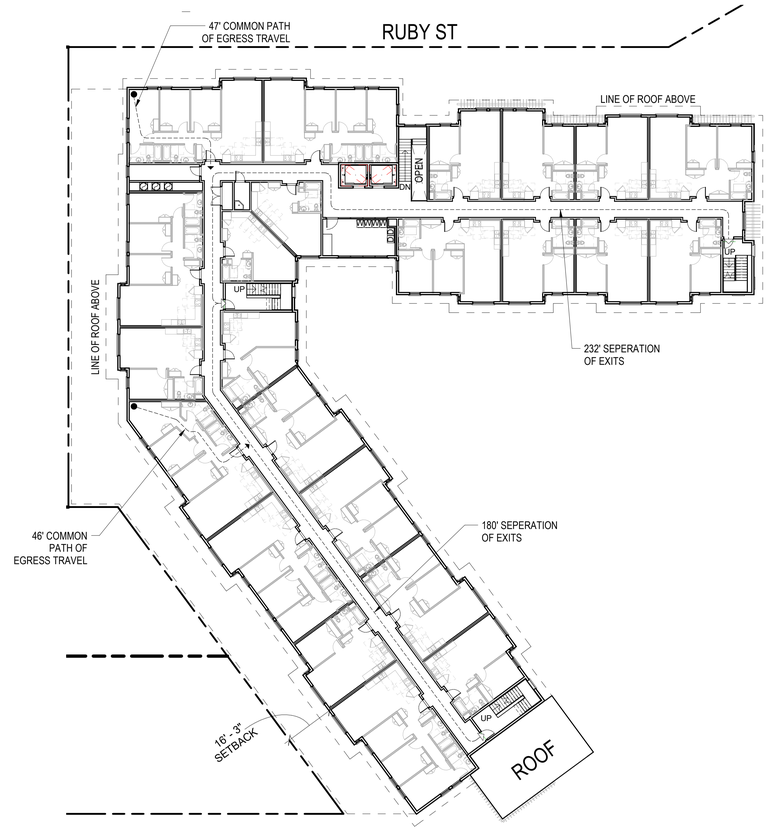
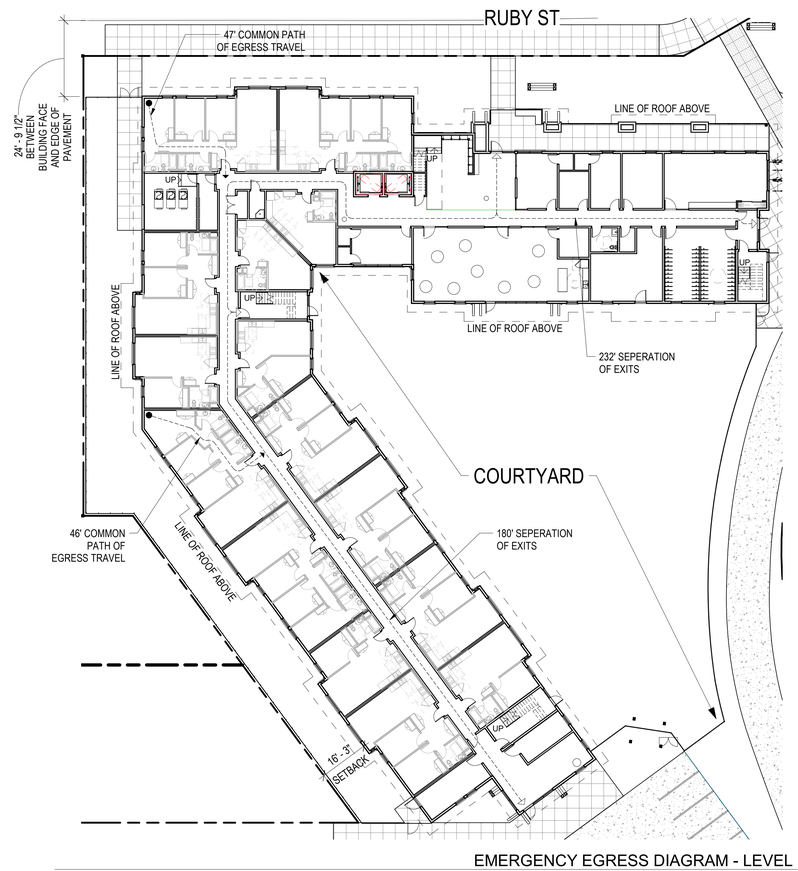


EMERGENCY EGRESS DIAGRAM - LEVEL 4 (4)
1" = 20'-0"



EMERGENCY EGRESS DIAGRAM - LEVEL 2 (2)
1" = 20'-0"

EMERGENCY EGRESS DIAGRAM - LEVEL 3 (3)
1" = 20'-0"



EMERGENCY EGRESS DIAGRAM - LEVEL 1 (1)
1" = 20'-0"

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JOB NUMBER:	1744
DRAWN BY:	KJ
CHECKED BY:	CC
DATE:	01/27/2020
SCALE:	1" = 20'-0"

TITLE:
EGRESS PATH DIAGRAMS

SHEET:
G0.02

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LEGAL DESCRIPTION

REAL PROPERTY IN THE UNINCORPORATED AREA OF THE COUNTY OF ALAMEDA, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

PARCEL ONE:

LOTS 11 AND 12, IN BLOCK "M", AS SAID LOTS AND BLOCK ARE SHOWN ON THE "MAP OF THE KNOX TRACT, PROPERTIES OF MILO AND WM. KNOX, ADJACENT TO THE TOWN OF HAYWARDS, ALAMEDA CO., CALIFORNIA", FILED JUNE 18, 1892, IN BOOK 17 OF MAPS, PAGE 87, IN THE OFFICE OF THE COUNTY RECORDER OF ALAMEDA COUNTY.

APN NO: 415-0230-013

PARCEL TWO:

LOT 10 IN BLOCK "M", OF THE KNOX TRACT, ACCORDING TO THE MAP THEREOF FILED JUNE 18, 1892, IN BOOK 17 OF MAPS, PAGE 87, IN THE OFFICE OF THE COUNTY RECORDER OF ALAMEDA COUNTY.

APN NO: 415-0230-014

PARCEL THREE:

LOT NO. 8 IN BLOCK LETTERED M AS SAID LOT AND BLOCK ARE SHOWN ON THE "MAP OF THE KNOX TRACT, PROPERTIES OF MILO AND WM. KNOX, ADJACENT TO THE TOWN OF HAYWARD, ALAMEDA CO., CALIFORNIA", FILED JUNE 18, 1892 IN BOOK 17 OF MAPS PAGE 87, IN THE OFFICE OF THE COUNTY RECORDER OF ALAMEDA COUNTY.

APN NO: 415-0230-016

PARCEL FOUR:

LOT 9 IN BLOCK "M", AS SAID LOT AND BLOCK ARE SHOWN ON THE "MAP OF THE KNOX TRACT, PROPERTIES OF MILO AND WM. KNOX, ADJACENT TO THE TOWN OF HAYWARDS, ALAMEDA CO. CALIFORNIA", FILED JUNE 18, 1892, IN BOOK 17 OF MAPS, AT PAGE 87, IN THE OFFICE OF THE COUNTY RECORDER OF ALAMEDA COUNTY.

APN NO: 415-0230-015

PARCEL FIVE:

LOTS 6 AND 7, IN BLOCK "M", AS SAID LOTS AND BLOCK ARE SHOWN ON THE "MAP OF THE KNOX TRACT PROPERTIES OF MILO AND WM. KNOX ADJACENT TO THE TOWN OF HAYWARDS, ALAMEDA CO., CALIFORNIA", FILED JUNE 18, 1892, IN BOOK 17 OF MAPS, PAGE 87, IN THE OFFICE OF THE COUNTY RECORDER OF ALAMEDA COUNTY.

APN NO: 415-0230-019 AND 415-0230-017

PARCEL SIX:

LOT 13, BLOCK M, MAP OF THE KNOX TRACT, PROPERTIES OF MILO AND WILLAM KNOX, ADJACENT TO THE TOWN OF HAYWARD, FILED JUNE 18, 1892, MAP BOOK 17, PAGE 87, ALAMEDA COUNTY RECORDS.

APN: 415-230-12

PARCEL SEVEN:

LOT 14, BLOCK M. MAP OF THE KNOX TRACT, PROPERTIES OF MILO AND WILLIAM KNOX ADJACENT TO THE TOWN OF HAYWARD, FILED JUNE 18, 1892, MAP BOOK 17, PAGE 87, ALAMEDA COUNTY RECORDS.

APN 415-230-11

PARCEL EIGHT:

PORTION OF LOT 1 IN BLOCK "M", AS SAID LOT AND BLOCK ARE SHOWN ON THE "MAP OF THE KNOX TRACT, PROPERTIES OF MILO AND WM. KNOX, ADJACENT TO THE TOWN OF HAYWARD, ALAMEDA CO., CALIFORNIA", FILED JUNE 18, 1892, IN BLOCK 17 OF MAPS, PAGE 87, IN THE OFFICE OF THE COUNTY RECORDED OF ALABAMA COUNTY,

ALSO PORTION OF THE PARCEL OF LAND DESCRIBED IN THE GIFT DEED FROM MARY R. HANSON, A WIDOW, TO ENID A. ROSENBERG, DATED OCTOBER 18, 1921, RECORDED OCTOBER 27, 1921, IN BOOK 83 OF OFFICIAL RECORDS OF ALAMEDA COUNTY, PAGE 384, SAID PORTIONS BEING DESCRIBED AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF THE NORTHWESTERN LINE OF THE COUNTY ROAD LEADING FROM HAYWARD TO CASTRO VALLEY, COMMONLY KNOWN AS "A" STREET, WITH THE INTERSECTION THEREOF WITH THE EASTERN CORNER OF SAID LOT 1 BLOCK "M", AS SAID LOT AND BLOCK ARE SHOWN ON SAID MAP; THENCE SOUTH 36° 09' WEST 86 FEET; THENCE NORTH 54° 07' WEST 117.13 FEET TO A POINT IN THE BED OF SAN LORENZO CREEK; THENCE ALONG THE BED OF SAID CREEK NORTH 1° 03' EAST 61.24 FEET; THENCE LEAVING THE BED OF SAID CREEK NORTHEASTERLY 50 FEET, MORE OR LESS TO THE NORTH –WEST CORNER OF SAID LOT 1; THENCE NORTH 54° 07' EAST 125.37 FEET TO THE POINT OF BEGINNING.

APN 415-230-023

PARCEL NINE:

LOT 2 BLOCK "M", AS SAID LOT AND BLOCK ARE SHOWN ON THAT CERTAIN MAP ENTITLED, "MAP OF THE KNOX TRACT, PROPERTIES OF MILO AND WM. KNOX, ADJACENT TO THE TOWN OF HAYWARDS, ALAMEDA CO., CALIFORNIA," FILED JUNE 18, 1892, IN BLOCK 17 OF MAPS, AT PAGE 87, IN THE OFFICE OF THE COUNTY RECORDED OF ALAMEDA COUNTY.

APN 415-230-022

PARCEL TEN:

LOT 3 IN BLOCK "M", AS SAID LOT AND BLOCK ARE SHOWN ON THAT CERTAIN MAP ENTITLED, "MAP OF THE KNOX TRACT, PROPERTIES OF MILO AND WM. KNOX, ADJACENT TO THE TOWN OF HAYWARD, ALAMEDA CO., CALIFORNIA", FILED JUNE 18, 1892, IN BOOK 17 OF MAPS, AT PAGE 87, IN THE OFFICE OF THE COUNTY RECORDER OF ALAMEDA COUNTY.

APN: 415-0230-021

PARCEL ELEVEN:

PORTION OF LOT 20, IN BLOCK "M", AND A PORTION OF AN UNNUMBERED LOT, AS SHOWN ON THE "MAP OF THE KNOX TRACT, PROPERTIES OF MILO AND WM. KNOX ADJACENT TO THE TOWN OF HAYWARD, ALAMEDA CO., CALIFORNIA", FILED JUNE 18, 1892, IN BOOK 17 OF MAPS, AT PAGE 87, IN THE OFFICE OF THE COUNTY RECORDER OF ALAMEDA COUNTY, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE SOUTHWESTERN LINE OF SAID LOT 20, DISTANT THEREON SOUTH 50° 05' EAST 121.38 FEET FROM THE MOST WESTERN CORNER OF SAID LOT 20; AND RUNNING THENCE NORTH 72° 44' 15" 104.84 FEET; THENCE SOUTH 18° 58' 30" EAST 98.69 FEET; THENCE SOUTH 48° 06' 30" WEST 122.35 FEET TO THE SOUTHWESTERN LINE OF SAID

"KNOX TRACT", THENCE ALONG THE LAST NAMED LINE NORTH 26° 57' WEST 126.02 FEET TO AN ANGLE POINT THEREIN AT THE MOST EASTERN AT THE MOST EASTERN CORNER OF THE PARCEL OF LAND AWARDED TO HAYWARD UNION HIGH SCHOOL DISTRICT OF ALAMEDA COUNTY IN THE DECREE QUIETING TITLE CASE NO. 164714, DATED AUGUST 14, 1945, RECORDED AUGUST 27, 1945 IN BOOK 4772 OF OFFICIAL RECORDS OF ALAMEDA COUNTY, PAGE 33; THENCE ALONG THE NORTHEASTERN LINE OF THE LAST NAMED PARCEL NORTH 42° 39' 30" WEST 35 FEET, MORE OR LESS, TO A LINE DRAWN SOUTH 72° 44' 15" WEST FROM THE POINT OF BEGINNING; AND THENCE NORTH 72° 44' 15" EAST 35 FEET, MORE OR LESS, TO THE POINT OF BEGINNING.

APN: 415-230-070 & -069

LEGAL DESCRIPTION (CONT.)

PARCEL TWELVE:

PORTION OF LOT 20, IN BLOCK "M", AND A PORTION OF AN UNNUMBERED LOT, AS SHOWN ON THE "MAP OF THE KNOX TRACT, PROPERTIES OF MILO AND WM. KNOX, ADJACENT TO THE TOWN OF HAYWARD, ALAMEDA CO., CALIFORNIA", FILED JUNE 18, 1892, IN BOOK 17 OF MAPS, AT PAGE 87, IN THE OFFICE OF THE COUNTY RECORDER OF ALAMEDA COUNTY, DESCRIBED AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF THE SOUTHERN LINE OF CRESCENT AVENUE, AS SHOWN ON SAID MAP, WITH THE SOUTHWESTERN LINE OF SAID LOT 20; AND RUNNING THENCE ALONG SAID SOUTHWESTERN LINE OF SAID LOT 20 SOUTH 50° 05' EAST 121.38 FEET; THENCE NORTH 72° 44' 15" EAST, 104.84 FEET; THENCE NORTH 20° 30' 40" WEST 78.63 FEET TO AN ANGLE POINT IN SAID SOUTHERN LINE OF CRESCENT AVENUE; AND THENCE ALONG THE LAST NAMED LINE SOUTH 80° 48' WEST 167.65 FEET TO THE POINT OF BEGINNING.

APN: 415-0230-002 AND 003 (A PORTION)

PARCEL THIRTEEN:

LOT 20 IN BLOCK "M", A SAID LOT AND BLOCK ARE SHOWN ON THE "MAP OF THE KNOX TRACT, PROPERTIES OF MILO AND WM. KNOX, ADJACENT TO THE TOWN OF HAYWARDS, ALAMEDA CO., CALIFORNIA", FILED JUNE 18, 1892 IN BOOK 17 OF MAPS, PAGE 87, IN THE OFFICE OF THE COUNTY RECORDER OF ALAMEDA COUNTY.

EXCEPTING FROM PARCEL 13, A PARCEL OF LAND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A STAKE WHICH MARKS THE MOST WESTERN CORNER OF THE ABOVE MENTIONED LOT 20 IN BLOCK "M"; AND RUNNING THENCE SOUTH 56° 45' EAST DISTANT 31.32 FEET TO A STAKE; THENCE SOUTH 66° 26' EAST DISTANT 22.53 FEET TO A STAKE; THENCE SOUTH 16° 31' EAST DISTANT 18.10 FEET TO A STAKE ON THE SOUTHWESTERN LINE OF SAID LOT 20 IN BLOCK "M"; THENCE ALONG SAID LINE NORTH 50° 03' WEST, DISTANT 67.75 FEET TO THE POINT OF BEGINNING.

ALSO EXCEPTING FROM SAID PARCEL 13 THOSE PORTIONS THEREOF WHICH LIE WITHIN THE LINES OF PARCELS 11 AND 12 ABOVE DESCRIBED.

APN: 415-0230-005 (PORTION)

PARCEL FOURTEEN:

BEGINNING AT THE POINT OF INTERSECTION OF THE NORTHWESTERN LINE OF "A" STREET WITH THE NORTHWESTERN LINE OF COUNTY ROAD LEADING FROM HAYWARD TO CASTRO VALLEY; RUNNING THENCE NORTH 28° 57' WEST 53.4 FEET; THENCE NORTH 1° 3' EAST 180.7 FEET; THENCE NORTH 18° 57' WEST 120 FEET TO A POINT IN THE BED OF SAN LORENZO CREEK AND THE ACTUAL POINT OF BEGINNING OF THE PARCEL OF LAND HEREIN DESCRIBED; THENCE ALONG THE BED OF SAID CREEK, NORTH 79° 57' WEST 100 FEET; THENCE SOUTH 63°

03' WEST, 115 FEET; THENCE SOUTH 43° 03' WEST, 133.4 FEET; THENCE NORTH 56° 57' WEST 133 FEET; THENCE NORTH 11° 57' WEST, 138 FEET; THENCE NORTH 26° 57' WEST FEET 130 FEET; THENCE NORTHWESTERLY IN A DIRECT LINE AND LEAVING THE BED OF SAID CREEK, A DISTANCE OF 146 FEET TO A POINT ON THE SOUTHERN LINE OF CRESCENT AVENUE, MIDWAY BETWEEN THE EXTREME EASTERN CORNER OF LOT 21 AND THE EXTREME WESTERN CORNER OF LOT 20 IN BLOCK "M", AS SAID AVENUE, LOTS AND BLOCK ARE SHOWN ON THE MAP HEREIN REFERRED TO; THENCE NORTH 80° 48' EAST ALONG SAID LINE OF CRESCENT AVENUE, 20 FEET TO THE MOST WESTERN CORNER OF SAID LOT 20; THENCE SOUTH 50° 05' EAST ALONG THE SOUTHWESTERN BOUNDARY LINE OF SAID LOT 20, 289.18 FEET; THENCE FOLLOWING THE SOUTHERN BOUNDARY LINE OF LOT 20, IN SAID BLOCK "M", SOUTH 8° 21' EAST 82 FEET; THENCE SOUTH 28° 23' EAST, 111.82 FEET; THENCE NORTH 52° 29' EAST 46.45 FEET; THENCE NORTH 4° 23' EAST 51.13 FEET; THENCE NORTH 22° 13' EAST 76 FEET; THENCE NORTH 87° 40' EAST, 150.00 FEET TO THE MOST WESTERN CORNER OF LOT 9 IN SAID BLOCK "M"; THENCE ALONG THE SOUTHWESTERN BOUNDARY LINE OF SAID LOT 9 AND ALONG THE SOUTHWESTERN BOUNDARY LINE OF LOT 8 IN SAID BLOCK "M", SOUTH 53° 46' EAST, 100 FEET; THENCE SOUTHWESTERLY IN A DIRECT LINE, 50 FEET, MORE OR LESS, TO THE POINT OF BEGINNING.

BEING A PORTION OF THE KNOX TRACT, AS SAID TRACT IS SHOWN ON THE MAP OF THE KNOX TRACT, PROPERTIES OF MILO AND WM. KNOX, ADJACENT TO THE TOWN OF HAYWARDS, ALAMEDA CO., CALIFORNIA", FILED JUNE 18, 1892, IN BOOK 17 OF MAPS PAGE 87, IN THE OFFICE OF THE COUNTY RECORDER OF ALAMEDA COUNTY.

EXCEPTING FROM SAID PARCEL 14, THOSE PORTIONS THEREOF, WHICH LIES WITHIN THE BOUNDARY LINES OF PARCELS 11, 12, ABOVE DESCRIBED.

ALSO EXCEPTING FROM PARCEL 14 THAT PORTION THEREOF LIES WITHIN THE BOUNDARY LINE OF PARCEL 3 DESCRIBED IN THE GRANT DEED TO STATE OF CALIFORNIA, RECORDED JUNE 30, 1969, REEL 2431, IMAGE 353, ALAMEDA COUNTY RECORDS.

APN: 415-230-005 (REMAINDER) AND 415-230-003 (REMAINDER)

PARCEL FIFTEEN:

A PORTION OF LOT 1 IN BLOCK "M", AS SAID LOT AND BLOCK ARE SHOWN ON THE "MAP OF THE KNOX TRACT, PROPERTIES OF MILO AND WM. KNOX, ADJACENT TO THE TOWN OF HAYWARD, ALAMEDA CO., CALIFORNIA", FILED JUNE 18, 1892, IN BOOK 17, OF MAPS, PAGE 87, IN THE OFFICE OF THE COUNTY RECORDER OF ALAMEDA COUNTY, ALSO A PORTION OF THE PARCEL OF LAND DESCRIBED IN THE GIFT DEED FROM MARY R. HANSON, A WIDOW, TO ENID A. ROSENBERG, DATED OCTOBER 18, 1921, RECORDED OCTOBER 27, 1921, IN BOOK 83, OF OFFICIAL RECORDS OF ALAMEDA COUNTY, PAGE 384, SAID PORTIONS ARE DESCRIBED AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF THE NORTHWESTERN LINE OF THE COUNTY ROAD FROM HAYWARD TO CASTRO VALLEY AS SAID ROAD IS SHOWN ON SAID MAP, WITH THE WESTERN LINE OF SAID LOT 1; RUNNING ALONG THE NORTHWESTERN LINE OF SAID COUNTY ROAD, SOUTH 36° 09' WEST 80 FEET TO THE NORTHWESTERN LINE OF "A" STREET AS SHOWN ON SAID MAP; THENCE NORTH 28° 57' WEST 53.4 FEET; THENCE NORTH 1° 03' EAST 119.46 FEET; THENCE SOUTH 54° 07' EAST 117.13 FEET TO THE NORTHWESTERN LINE OF SAID COUNTY ROAD; THENCE ALONG THE LAST SAID LINE, SOUTH 36° 09' WEST 40.23 FEET TO THE POINT OF BEGINNING.

APN: 415-0230-024

PARCEL SIXTEEN:

BEGINNING AT A POINT IN THE BED OF SAN LORENCO CREEK, FROM WHICH POINT BEARS SOUTH 1° 3' WEST 180.7 FEET AND SOUTH 28° 57' EAST, 53.4 FEET, AN ANGLE FORMED BY THE INTERSECTION OF THE NORTHWESTERN LINE OF "A" STREET AND THE NORTHWESTERN LINE OF THE COUNTY ROAD RUNNING FROM HAYWARD TO CASTRO VALLEY; THENCE ALONG Rev. NAT 8/24/15 Page 8 Order No. 54605-1518692-17

THE BED OF SAID CREEK NORTH 18° 57' WEST 120 FEET; THENCE NORTHEASTERLY IN A DIRECT LINE 50 FEET TO THE SOUTHWEST CORNER OF LOT 7 IN BLOCK M, AS SAID LOT AND BLOCK ARE SHOWN ON THE "MAP OF THE KNOX TRACT ETC., ADJACENT TO THE TOWN OF HAYWARDS, ALAMEDA CO., CALIFORNIA", FILED JUNE 18, 1892 IN BOOK 17, OF MAPS, PAGE 87, IN THE OFFICE OF THE COUNTY RECORDER OF ALAMEDA COUNTY; THENCE SOUTH 37° 42' EAST, 39.44 FEET TO A STAKE; THENCE SOUTH 20° 40' EAST, 91.6 FEET TO A STAKE; THENCE SOUTH 9° 39' EAST, 18.02 FEET TO THE NORTHWESTERN CORNER OF LOT 1 BLOCK M OF SAID KNOX TRACT; THENCE SOUTHWESTERLY IN A DIRECT LINE LEAVING THE BANK OF SAID CREEK 50 FEET TO THE POINT OF BEGINNING.

APN: 415-0230-018

LEGAL DESCRIPTION (CONT.)

PARCEL SEVENTEEN:

BEGINNING AT THE INTERSECTION OF THE NORTHWESTERN LINE OF "A" STREET WITH THE NORTHWESTERN LINE OF COUNTY ROAD LEADING FROM HAYWARD TO CASTRO VALLEY, SAID POINT BEING THE MOST EASTERN CORNER OF PLOT "C", AS SAID PLOT IS SHOWN ON THE MAP OF "SAN LORENZO TERRACE, HAYWARD, ALAMEDA CO., CAL.," FILED OCTOBER 31, 1911 IN THE OFFICE OF THE COUNTY RECORDER OF ALAMEDA COUNTY; RUNNING THENCE SOUTH 48° WEST ALONG SAID LINE OF "A" STREET, 25.4 FEET TO THE WESTERN BOUNDARY LINE OF SAID PLOT "C"; THENCE NORTH 26°45' WEST ALONG THE WESTERN BOUNDARY LINE OF SAID PLOT "C", 57 FEET; THENCE NORTH 0°1" WEST 201.78 FEET; THENCE NORTH 15°26' WEST 67.09 FEET; THENCE NORTH 69°45' WEST 107.34 FEET; THENCE SOUTH 48° WEST 270.00 FEET; THENCE NORTH 61° WEST 95.19 FEET; THENCE NORTH 42° WEST 200 FEET; THENCE NORTH 48° EAST, 115 FEET TO THE WESTERN BOUNDARY LINE OF THE KNOX TRACT, AS SAID BOUNDARY LINE IS SHOWN ON THE "MAP OF THE KNOX TRACT, PROPERTIES OF MILO AND WM. KNOX, ADJACENT TO THE TOWN OF HAYWARD, ALAMEDA CO., CALIFORNIA", FILED JUNE 18, 1892 IN BOOK 17 OF MAPS, PAGE 87, IN THE OFFICE OF THE COUNTY RECORDER OF ALAMEDA COUNTY; THENCE NORTH 26° 57' WEST ALONG THE LAST NAMED LINE 60 FEET TO THE NORTHEASTERN BOUNDARY LINE OF PLOT "C" ABOVE REFERRED TO; THENCE SOUTH 44° 22' EAST ALONG SAID NORTHEASTERN BOUNDARY LINE OF PLOT "C", 95 FEET, MORE OR LESS, TO AN ANGLE POINT THEREIN; THENCE SOUTH 5°18' WEST 122 FEET; THENCE SOUTH 54°42' EAST, 156 FEET; THENCE NORTH 44°58' EAST 225 FEET; THENCE SOUTH 74°42' EAST, 125 FEET TO THE NORTHWESTERN BOUNDARY LINE OF THAT CERTAIN PIECE OR PARCEL OF LAND CONVEYED BY EDWIN S. WARREN AND WIFE, TO J. G. HAUSCHILDT, BY DEED DATED JULY 18, 1921 AND RECORDED DECEMBER 23, 1921 IN BOOK 116 OF OFFICIAL RECORDS OF ALAMEDA COUNTY, PAGE 273; THENCE SOUTHWESTERLY ALONG THE LAST NAMED LINE TO THE MOST WESTERN CORNER OF SAID LAND CONVEYED TO J. G. HAUSCHILDT; THENCE SOUTH 18°57' EAST 120 FEET; THENCE SOUTH 1°03' WEST 180.7 FEET; THENCE SOUTH 28°57' EAST 53.4 FEET TO THE POINT OF BEGINNING.

BEING A PORTION OF PLOT "C", AS SAID PLOT IS SHOWN ON THE MAP OF "SAN LORENZO TERRACE", AND A PORTION OF THE KNOX TRACT ABOVE-REFERRED TO.

APN: 415-0230-072 & -073

GENERAL NOTES:

1. OWNER: EDEN HOUSING
22645 GRAND STREET
HAYWARD, CA 94541

2. SUBDIVIDER: EDEN HOUSING
22645 GRAND STREET
HAYWARD, CA 94541
ELLEN MORRIS

3. ENGINEER/SURVEYOR: LUK AND ASSOCIATES
738 ALFRED NOBEL DRIVE
HERCULES, CALIFORNIA 94547
JACQUELINE LUK PLS 8934

4. ASSESSOR'S PARCEL NO.: 415-0230-002, 415-0230-003, 415-0230-005, 415-0230-011, 415-0230-012, 415-0230-013, 415-0230-014, 415-0230-015, 415-0230-016, 415-0230-017, 415-0230-018, 415-0230-019, 415-0230-021, 415-0230-022, 415-0230-023, 415-0230-024, 415-0230-069, 415-0230-070, 415-0230-072, 415-0230-073

5. TOTAL AREA: 6.280 ACRES (273,557 S.F.)

NOTES

1. THE UTILITIES SHOWN HEREON ARE BY SURFACE OBSERVATION AND RECORD INFORMATION ONLY AND NO WARRANTY IS GIVEN HEREIN AS TO THEIR EXACT LOCATION. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND/OR CONTRACTOR TO VERIFY THE EXACT LOCATION OF THE UTILITIES WITH THE APPROPRIATE UTILITY COMPANY OR AGENCY.

2. UTILITY JURISDICTIONS / PROVIDERS ARE AS FOLLOWS:
STORM DRAINS: ALAMEDA COUNTY
SANITARY SEWER: CASTRO VALLEY SANITARY DISTRICT
WATER: EAST BAY MUNICIPAL UTILITY DISTRICT
ELECTRICITY: PACIFIC GAS & ELECTRIC COMPANY
NATURAL GAS: PACIFIC GAS & ELECTRIC COMPANY

3. FLOOD ZONE DESIGNATION: THE PREMISES ARE LOCATED IN ZONE "X" (NO SHADING) DEFINED AS "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN", AND ZONE "A" DEFINED AS SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD, NO BASE FLOOD ELEVATIONS DETERMINED; PER FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 06001C0287G, EFFECTIVE DATE: AUGUST 3, 2009.

BASIS OF BEARING

THE BASIS OF BEARINGS OF THIS SURVEY IS BASED ON FOUND STREET MONUMENTS ALONG "A" STREET BETWEEN ROCKAWAY LANE AND RUBY STREET AS SHOWN ON THAT CERTAIN RECORD OF SURVEY, FILED AUGUST 7, 1973, IN BOOK 9 OF RECORDS OF SURVEY, AT PAGES 30–31, IN THE OFFICE OF THE COUNTY RECORDER OF ALAMEDA COUNTY, STATE OF CALIFORNIA. THE BEARING IS TAKEN AS NORTH 40°51'45" WEST PER CALIFORNIA DEPARTMENT OF TRANSPORTATION RIGHT OF WAY RECORD MAP R–167.3.

BENCHMARK

ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).

EASEMENT NOTES

E–1: STORM SEWER EASEMENT IN FAVOR OF COUNTY OF ALAMEDA, RECORDED SEPTEMBER 11, 1934, 3077 O.R. 372

E–2: POLE LINE EASEMENT IN FAVOR OF PG&E, RECORDED JULY 13, 1954, 7369 O.R. 591

E–3: HIGHWAY EASEMENT IN FAVOR OF COUNTY OF ALAMEDA, RECORDED MAY 20, 1959, 9033 O.R. 247

E–4: HIGHWAY EASEMENT IN FAVOR OF COUNTY OF ALAMEDA, RECORDED JUNE 11, 1959, 9056 O.R. 383

E–5: SLOPE EASEMENT IN FAVOR OF COUNTY OF ALAMEDA, RECORDED MAY 20, 1960, 91 O.R. 912

E–6: BRIDGE EASEMENT IN FAVOR OF COUNTY OF ALAMEDA, RECORDED MAY 20, 1960, 91 O.R. 916, AR 59629

E–7: SLOPE EASEMENT IN FAVOR OF COUNTY OF ALAMEDA, RECORDED JUNE 6, 1960, 120 O.R. 964

E–8: HIGHWAY EASEMENT IN FAVOR OF COUNTY OF ALAMEDA, RECORDED JUNE 8, 1960, 101 O.R. 660, AR66065

E–9: BRIDGE EASEMENT IN FAVOR OF COUNTY OF ALAMEDA, RECORDED JUNE 8, 1960, 101 O.R. 660, AR66065

EXCEPTIONS

1. EASEMENT FOR WATER COURSE OVER THAT PORTION PREMISES WHICH MAY LIE WITHIN THE LINES OF SAN LORENZO CREEK, AND TO ANY CHANGES IN THE BOUNDARY LINES THEREOF, FROM NATURAL CAUSES ANY BY IMPERCEPTIBLE DEGREES (PLOTTED).

2. AN EASEMENT FOR A STORM SEWER AND APPURTENANCES AND INCIDENTAL PURPOSES, RECORDED SEPTEMBER 11, 1934 AS BOOK 3077, PAGE 372 OF OFFICIAL RECORDS, IN FAVOR OF THE COUNTY OF ALAMEDA, AFFECTS THE NORTHWESTERN PORTION OF PARCEL FOUR (EXC. 6 – PLOTTED).

3. AN EASEMENT FOR POLE LINE AND INCIDENTAL PURPOSES, RECORDED JULY 13, 1954 AS BOOK 7369, PAGE 591 OF OFFICIAL RECORDS, IN FAVOR OF PACIFIC GAS AND ELECTRIC COMPANY, CALIFORNIA CORPORATION, AFFECTS PARCEL THIRTEEN (EXC. 7 – PLOTTED).

4. AN EASEMENT FOR PUBLIC HIGHWAY AND INCIDENTAL PURPOSES, RECORDED MAY 20, 1959 AS INSTRUMENT NO. AQ59797 IN BOOK 9033, PAGE 247 OF OFFICIAL RECORDS, IN FAVOR OF THE COUNTY OF ALAMEDA, AFFECTS PARCELS EIGHT, NINE, TEN AND FIFTEEN (EXC. 8 – PLOTTED).

5. AN EASEMENT FOR PUBLIC HIGHWAY AND INCIDENTAL PURPOSES, RECORDED JUNE 11, 1959 AS INSTRUMENT NO. AQ/69489 IN BOOK 9056, PAGE 383 OF OFFICIAL RECORDS, IN FAVOR OF COUNTY OF ALAMEDA, AFFECTS THE SOUTHEASTERN PORTION OF PREMISES ADJACENT AND PARALLEL TO "A" STREET (EXC. 9 – NOT PLOTTED).

6. AN EASEMENT FOR SLOPE AND INCIDENTAL PURPOSES, RECORDED MAY 20, 1960 AS INSTRUMENT NO. AR/59628 IN REEL 91, IMAGE 912 OF OFFICIAL RECORDS, IN FAVOR OF COUNTY OF ALAMEDA, AFFECTS THE EASTERLY CORNER OF PARCEL FIFTEEN (EXC. 10 – NOT PLOTTED).

7. AN EASEMENT FOR THE CONSTRUCTION, OPERATION AND MAINTENANCE OF A REINFORCED CONCRETE STEEL GIRDER BRIDGE AND INCIDENTAL PURPOSES, RECORDED MAY 20, 1960 AS INSTRUMENT NO. AR/59629 OF OFFICIAL RECORDS, IN FAVOR OF COUNTY OF ALAMEDA, AFFECTS A MAJOR PORTION OF PARCEL FIFTEEN (EXC. 11 – PLOTTED).

8. AN EASEMENT FOR SLOPE EASEMENT AND INCIDENTAL PURPOSES, RECORDED JUNE 7, 1960 AS INSTRUMENT NO. AR–78452 IN REEL 120, PAGE 964 OF OFFICIAL RECORDS, IN FAVOR OF COUNTY OF ALAMEDA, AFFECTS THE SOUTHEASTERN PORTION OF PREMISES LYING ADJACENT TO AND NORTHWEST OF EASEMENT SHOWN ABOVE AT EXCEPTIONS, AFFECTS PARCELS EIGHT, NINE, TEN AND FIFTEEN (EXC. 12 – PLOTTED).

9. AN EASEMENT FOR A PUBLIC HIGHWAY AND INCIDENTAL PURPOSES, RECORDED JUNE 8, 1960 AS INSTRUMENT NO. AR/66065 IN REEL 1001, IMAGE 661 OF OFFICIAL RECORDS, IN FAVOR OF COUNTY OF ALAMEDA, A POLITICAL SUBDIVISION, AFFECTS THE SOUTHEASTERLY 15 FEET OF PARCEL SEVENTEEN (EXC. 13 – PLOTTED).

10. AN EASEMENT FOR RETAINING WALLS AND ANY AND ALL STRUCTURES NECESSARY TO THE CONSTRUCTION, OPERATION AND MAINTENANCE OF A REINFORCED CONCRETE STEEL GIRDER BRIDGE, TOGETHER WITH THE RIGHT TO MAKE ALL EXCAVATIONS AND BACKFILL NECESSARY FOR SUCH STRUCTURE OR STRUCTURES AND INCIDENTAL PURPOSES, RECORDED JUNE 8, 1960 AS INSTRUMENT NO. AR/66065 IN REEL 1001, IMAGE 662 OF OFFICIAL RECORDS, IN FAVOR OF COUNTY OF ALAMEDA, AFFECTS A SOUTHERLY PORTION OF PARCEL SEVENTEEN (EXC. 14 – PLOTTED).

11. THE FACT THAT THE LAND LIES WITHIN THE BOUNDARIES OF THE EDEN REDEVELOPMENT PROJECT AREA, AS DISCLOSED BY VARIOUS DOCUMENTS OF RECORD (EXC. 17 – NOT PLOTTABLE).

RECORD REFERENCES

(R1) RECORD OF SURVEY, FILED AUGUST 7, 1973, IN BOOK 9 OF RECORDS OF SURVEY, AT PAGES 30–31, IN THE OFFICE OF THE COUNTY RECORDER OF ALAMEDA COUNTY, STATE OF CALIFORNIA.

(R2) CALIFORNIA DEPARTMENT OF TRANSPORTATION RIGHT OF WAY RECORD MAP R–167.3.

SURVEYOR'S STATEMENT

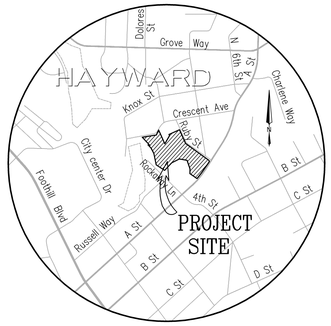
THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE LAND SURVEYORS ACT ON DECEMBER 19, 2018.

JACQUELINE LUK P.L.S. 8934 DATE: DECEMBER 20, 2018

PROFESSIONAL LAND SURVEYOR JACQUELINE LINDSAY LUK PLS 8934 STATE OF CALIFORNIA

SHEET INDEX

1 TITLE SHEET, GENERAL NOTES
2 BOUNDARY SURVEY AND NEW LOT LINE EXHIBIT
3 TOPOGRAPHIC SURVEY



VICINITY MAP

NO SCALE

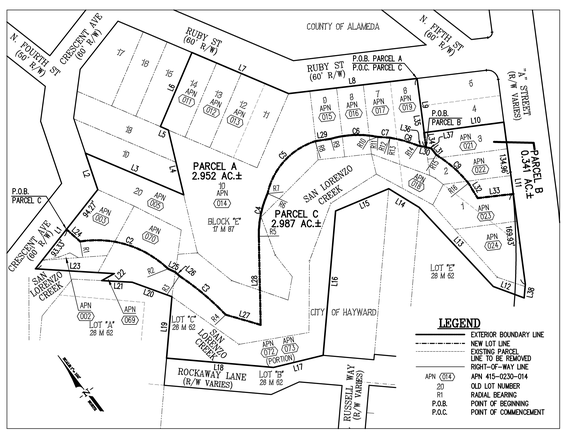
LOT LINE ADJUSTMENT

BEING THOSE PORTIONS OF LOTS 1–3, 6–14, AND 20 AND SAN LORENZO CREEK OF BLOCK "M" AS SHOWN ON THAT CERTAIN MAP ENTITLED "MAP OF THE KNOX TRACT" FILED ON JUNE 18, 1892, IN BOOK 17 OF MAPS, AT PAGE 87, AND A PORTION OF LOT "C" AS SHOWN ON THAT CERTAIN MAP ENTITLED " SAN LORENZO TERRACE, HAYWARD, ALAMEDA CO., CAL.", FILED OCTOBER 31, 1911 IN BOOK 26 OF MAPS, AT PAGE 52, ALL IN THE OFFICE OF THE COUNTY RECORDER OF ALAMEDA COUNTY, STATE OF CALIFORNIA

ALAMEDA COUNTY – CALIFORNIA

LUK AND ASSOCIATES
738 ALFRED NOBEL DRIVE
HERCULES, CALIFORNIA 94547

DECEMBER 2018



NEW LOT LINE DETAILS

SCALE: 1"=100'

LINE TABLE		
LINE	LENGTH	BEARING
L1	187.60'	N82°22'15"E
L2	71.73'	N25°27'15"E
L3	199.02'	N22°47'10"W
L4	124.20'	N30°52'50"E
L5	16.09'	N22°47'10"W
L6	150.00'	N67°12'50"E
L7	195.76'	N22°47'10"W
L8	241.13'	N52°34'10"W
L9	101.93'	N36°41'15"E
L10	149.70'	N53°18'45"W
L11	304.89'	N36°41'04"E
L12	61.13'	N25°36'45"W
L13	201.81'	N01°07'27"E
L14	67.08'	N14°17'48"W
L15	107.36'	N68°57'15"W
L16	269.98'	N49°08'15"E
L17	95.02'	N59°28'57"W
L18	199.94'	N40°51'45"W
L19	115.00'	N49°08'15"E
L20	78.81'	N25°48'45"W
L21	56.70'	N42°47'45"W
L22	26.48'	N75°07'45"W
L23	146.82'	N42°15'21"W
L24	33.94'	N04°20'28"W
L25	14.62'	N20°41'25"W
L26	10.67'	N03°53'14"W
L27	67.85'	N29°40'37"W
L28	164.93'	N42°56'28"E
L29	29.58'	N54°39'52"W
L30	25.04'	N33°35'56"W
L31	14.73'	N06°46'58"E
L32	32.70'	N12°22'30"E
L33	66.91'	N52°22'30"W
L34	27.64'	N36°41'15"E
L35	129.57'	N36°41'15"E
L36	15.01'	N33°35'56"W
L37	10.03'	N33°35'56"W
L38	25.24'	S49°08'05"W

CURVE TABLE			
CURVE	LENGTH	RADIUS	DELTA
C1	228.50'	1204.85'	10°51'09"
C2	178.02'	193.08'	52°49'37"
C3	112.52'	504.77'	12°46'18"
C4	83.04'	185.00'	25°24'33"
C5	137.96'	131.52'	60°06'11"
C6	88.60'	185.00'	27°26'26"
C7	22.78'	508.85'	02°33'56"
C8	54.81'	233.26'	13°27'47"
C9	80.42'	233.26'	19°45'17"

RADIAL BEARING	
R1	N35°03'31"E(R)
R2	N87°53'14"E(R)
R3	N17°47'26"E(R)
R4	S89°26'05"E(R)
R5	N47°00'32"W(R)
R6	N21°35'59"W(R)
R7	N33°34'36"W(R)
R8	N26°31'35"E(R)
R9	N28°13'42"E(R)
R10	N55°40'08"E(R)
R11	N46°53'44"E(R)
R12	N49°27'40"E(R)
R13	N53°04'14"E(R)
R14	N66°32'05"E(R)
R15	N75°45'13"E(R)
R16	S84°29'29"E(R)

NEW LOT LINE DIMENSIONS

NOTE

SEE SHEET 3 FOR LEGEND

LOT LINE ADJUSTMENT

BEING THOSE PORTIONS OF LOTS 1-3, 6-14, AND 20 AND SAN LORENZO CREEK OF BLOCK "M" AS SHOWN ON THAT CERTAIN MAP ENTITLED "MAP OF THE KNOX TRACT" FILED ON JUNE 18, 1892, IN BOOK 17 OF MAPS, AT PAGE 87, AND A PORTION OF LOT "C" AS SHOWN ON THAT CERTAIN MAP ENTITLED " SAN LORENZO TERRACE, HAYWARD, ALAMEDA CO., CAL.", FILED OCTOBER 31, 1911 IN BOOK 26 OF MAPS, AT PAGE 52, ALL IN THE OFFICE OF THE COUNTY RECORDER OF ALAMEDA COUNTY, STATE OF CALIFORNIA

ALAMEDA COUNTY – CALIFORNIA

LUK AND ASSOCIATES
738 ALFRED NOBEL DRIVE
HERCULES, CALIFORNIA 94547

DECEMBER 2018

F:\Jobs\FILE2010\10004A10\LL-ADJUSTMENT-10004.dwg

PLOT DATE: DECEMBER 20, 2018

LEGEND

SYMBOLS	DESCRIPTION
	BOUNDARY – SUBJECT PROPERTY
	RIGHT-OF-WAY LINE
	EXISTING LOT LINE TO BE REMOVED
	NEW LOT LINE
	EASEMENT LINE
	OLD LOT LINE TO BE REMOVED
	MONUMENT LINE
	CENTERLINE
	TIE LINE
	FOUND STREET MONUMENT AS NOTED
SFNF	SEARCH FOR AND NOT FOUND
S.F.	SQUARE FEET
±	MORE OR LESS
(R1)	REFERENCE
(R)	RADIAL BEARING
(T)	TOTAL
CALC.	CALCULATED VALUE
PTR	PRELIMINARY TITLE REPORT
R/W	RIGHT OF WAY
DOC. NO.	DOCUMENT NUMBER
(294.94')	RECORD DATA
APN	ASSESSOR'S PARCEL NUMBER
(M–M)	MONUMENT TO MONUMENT
(202.29')(R2)	RECORD DATA PER (R2) CONVERTED TO GROUND DISTANCE
(M–ML)	MONUMENT TO MONUMENT LINE
E–1	EASEMENT NOTE
	BUILDING LINE
	TOP/TOE
	ELECTROLIER
	FOUND STANDARD CITY MONUMENT
FH	FIRE HYDRANT
CB	CATCH BASIN
AD	AREA DRAIN
WV	WATER VALVE
WM	WATER METER
	STORM DRAIN MANHOLE
SSCO	SANITARY SEWER CLEANOUT
SSMH	SANITARY SEWER MANHOLE
TELMH	TELEPHONE MANHOLE
PGEMH	PACIFIC GAS AND ELECTRIC MANHOLE
	TREE
AC	ASPHALT CONCRETE
FF	FINISH FLOOR
JP	JOINT POLE
TS	TRAFFIC SIGNAL
TSB	TRAFFIC SIGNAL BOX
SL	STREET LIGHT
SLB	STREET LIGHT BOX
PGE	PACIFIC GAS AND ELECTRIC BOX
PP	POWER POLE
TVCB	TELEVISION CABLE BOX
CONC	CONCRETE
UB	UTILITY BOX
RD	ROOF DRAIN
BOL	4" BOLLARD
WB	WATER BOX
PM	PARKING METER
GV	GAS VALVE
	WOOD FENCE
—X—X—X—	CHAIN LINKFENCE
	SIGN
CONC. 4.85	CONCRETE ELEVATION
GRD. 6.13	GROUND ELEVATION
TP 9.18	TOP OF PAVEMENT ELEVATION
TC 10.82	TOP OF CURB ELEVATION
BW 10.82	BACK OF WALK ELEVATION
FL 10.31	FLOW LINE ELEVATION

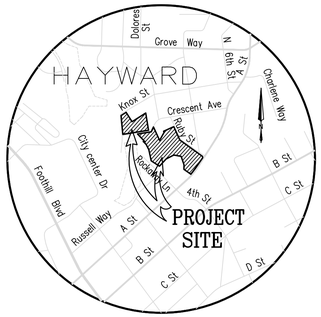
LOT LINE ADJUSTMENT

BEING THOSE PORTIONS OF LOTS 1–3, 6–14, AND 20 AND SAN LORENZO CREEK OF BLOCK "M" AS SHOWN ON THAT CERTAIN MAP ENTITLED "MAP OF THE KNOX TRACT" FILED ON JUNE 18, 1892, IN BOOK 17 OF MAPS, AT PAGE 87, AND A PORTION OF LOT "C" AS SHOWN ON THAT CERTAIN MAP ENTITLED " SAN LORENZO TERRACE, HAYWARD, ALAMEDA CO., CAL.", FILED OCTOBER 31, 1911 IN BOOK 26 OF MAPS, AT PAGE 52, ALL IN THE OFFICE OF THE COUNTY RECORDER OF ALAMEDA COUNTY, STATE OF CALIFORNIA

ALAMEDA COUNTY – CALIFORNIA

LUK AND ASSOCIATES
738 ALFRED NOBEL DRIVE
HERCULES, CALIFORNIA 94547

DECEMBER 2018



VICINITY MAP

NO SCALE

REFERENCES

(R1) RECORD OF SURVEY, FILED AUGUST 7, 1973, IN BOOK 9 OF RECORDS OF SURVEY, AT PAGES 30-31, IN THE OFFICE OF THE COUNTY RECORDER OF ALAMEDA COUNTY, STATE OF CALIFORNIA.

(R2) CALIFORNIA DEPARTMENT OF TRANSPORTATION RIGHT OF WAY RECORD MAP R-167.3.

BASIS OF BEARINGS

THE BASIS OF BEARINGS OF THIS SURVEY IS BASED ON FOUND STREET MONUMENTS ALONG "A" STREET BETWEEN ROCKAWAY LANE AND RUBY STREET AS SHOWN ON THAT CERTAIN RECORD OF SURVEY, FILED AUGUST 7, 1973, IN BOOK 9 OF RECORDS OF SURVEY, AT PAGES 30-31, IN THE OFFICE OF THE COUNTY RECORDER OF ALAMEDA COUNTY, STATE OF CALIFORNIA. THE BEARING IS TAKEN AS NORTH 40°51'45" WEST PER CALIFORNIA DEPARTMENT OF TRANSPORTATION RIGHT OF WAY RECORD MAP R-167.3.

BENCHMARK

ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).

EASEMENT NOTES

E-1: STORM SEWER EASEMENT IN FAVOR OF COUNTY OF ALAMEDA, RECORDED SEPTEMBER 11, 1934, 3077 O.R. 372

E-2: POLE LINE EASEMENT IN FAVOR OF PG&E, RECORDED JULY 13, 1954, 7369 O.R. 591

E-3: HIGHWAY EASEMENT IN FAVOR OF COUNTY OF ALAMEDA, RECORDED MAY 20, 1959, 9033 O.R. 247

E-4: HIGHWAY EASEMENT IN FAVOR OF COUNTY OF ALAMEDA, RECORDED JUNE 11, 1959, 9056 O.R. 383

E-5: SLOPE EASEMENT IN FAVOR OF COUNTY OF ALAMEDA, RECORDED MAY 20, 1960, 91 O.R. 912

E-6: BRIDGE EASEMENT IN FAVOR OF COUNTY OF ALAMEDA, RECORDED MAY 20, 1960, 91 O.R. 916, AR 59629

E-7: SLOPE EASEMENT IN FAVOR OF COUNTY OF ALAMEDA, RECORDED JUNE 6, 1960, 120 O.R. 964

E-8: HIGHWAY EASEMENT IN FAVOR OF COUNTY OF ALAMEDA, RECORDED JUNE 8, 1960, 101 O.R. 660, AR66065

E-9: BRIDGE EASEMENT IN FAVOR OF COUNTY OF ALAMEDA, RECORDED JUNE 8, 1960, 101 O.R. 660, AR66065

NOTE

THIS BOUNDARY RETRACEMENT IS MAINLY BASED ON CALIFORNIA DEPARTMENT OF TRANSPORTATION RIGHT OF WAY RECORD MAP R-167.3.

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Ruby St, Castro Valley, CA 94546

STAMP:

Luk and Associates
Civil Engineering
Land Planning
Land Surveying
738 Alfred Nobel Drive
Hercules, CA 94547
Phone (510) 724-3388
Fax (510) 724-3383

REVISION SCHEDULE

No.	ISSUE	DATE

JOB NUMBER:	10004410
DRAWN BY:	CW
CHECKED BY:	JL
DATE:	JANUARY 2019
SCALE:	1" = 30'
TITLE:	TOPOGRAPHIC & BOUNDARY SURVEY

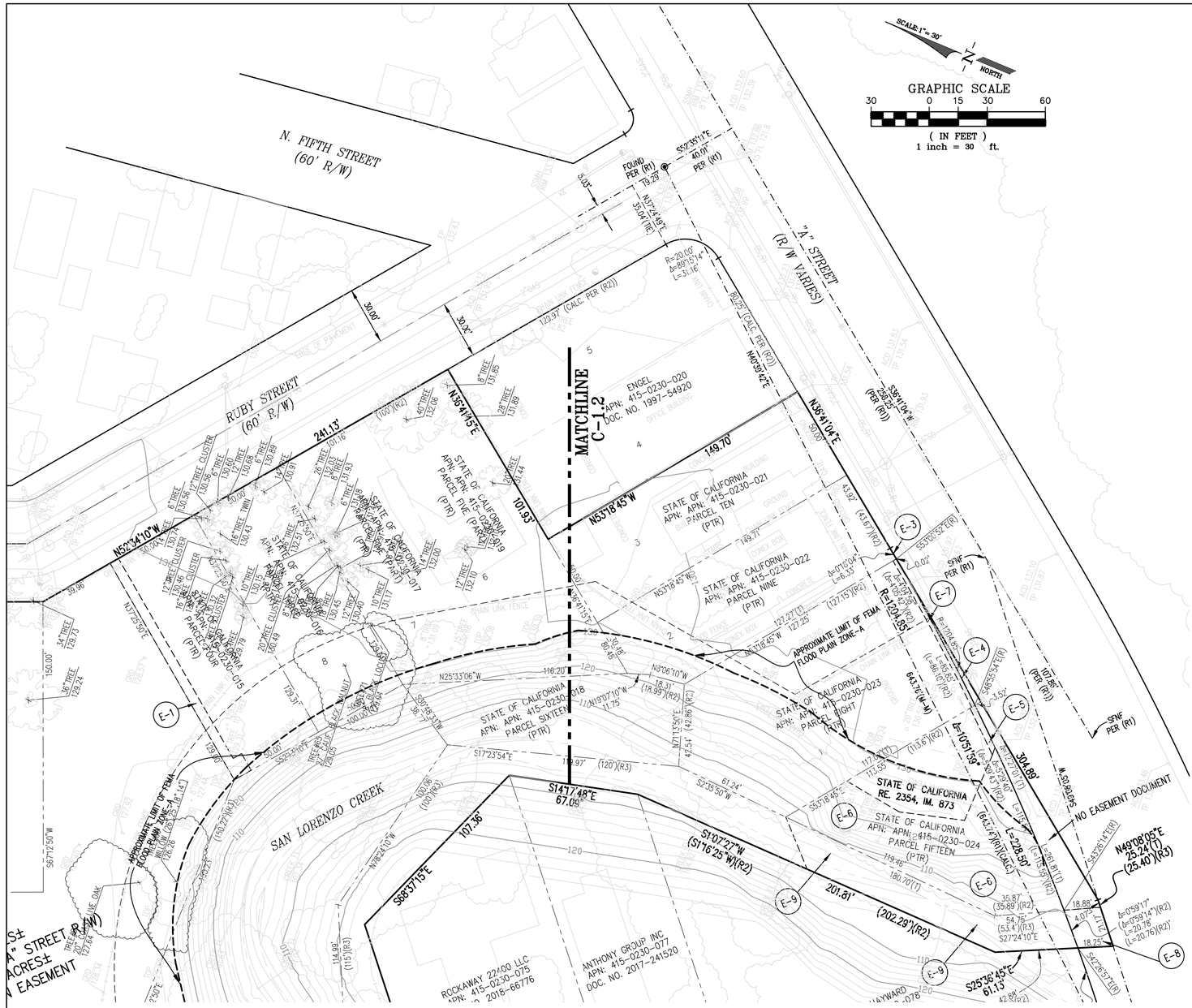
SHEET:

C-1.1

PRELIMINARY - Not for Construction -

© 2017 PYATOK ARCHITECTURE & URBAN DESIGN

Plot Date: 01-17-2020



LEGEND

SYMBOLS	DESCRIPTION
	BOUNDARY – SUBJECT PROPERTY
	RIGHT–OF–WAY LINE
	INTERIOR LOT LINE
	EASEMENT LINE
	OLD LOT LINE
	MONUMENT LINE
	CENTERLINE
	TIE LINE
	FOUND STREET MONUMENT AS NOTED
SFNF	SEARCH FOR AND NOT FOUND
S.F.	SQUARE FEET
±	MORE OR LESS
(R1)	REFERENCE
(R)	RADIAL BEARING
(T)	TOTAL
CALC.	CALCULATED VALUE
PTR	PRELIMINARY TITLE REPORT
R/W	RIGHT OF WAY
DOC. NO.	DOCUMENT NUMBER
(294.94')	RECORD DATA
APN	ASSESSOR'S PARCEL NUMBER
(M–M)	MONUMENT TO MONUMENT
(202.29')(R2)	RECORD DATA PER (R2) CONVERTED TO GROUND DISTANCE
(M–ML)	MONUMENT TO MONUMENT LINE
E–1	EASEMENT NOTE
	BUILDING LINE
	TOP/TOE
	ELECTROLIER
	FOUND STANDARD CITY MONUMENT
FH	FIRE HYDRANT
CB	CATCH BASIN
AD	AREA DRAIN
WV	WATER VALVE
WM	WATER METER
	STORM DRAIN MANHOLE
SSCO	SANITARY SEWER CLEANOUT
SSMH	SANITARY SEWER MANHOLE
TELMH	TELEPHONE MANHOLE
PGEMH	PACIFIC GAS AND ELECTRIC MANHOLE
	TREE
AC	ASPHALT CONCRETE
FF	FINISH FLOOR
JP	JOINT POLE
TS	TRAFFIC SIGNAL
TSB	TRAFFIC SIGNAL BOX
SL	STREET LIGHT
SLB	STREET LIGHT BOX
PGE	PACIFIC GAS AND ELECTRIC BOX
PP	POWER POLE
TVCB	TELEVISION CABLE BOX
CONC	CONCRETE
UB	UTILITY BOX
RD	ROOF DRAIN
BOL	4" BOLLARD
WB	WATER BOX
PM	PARKING METER
GV	GAS VALVE
	WOOD FENCE
	CHAIN LINKFENCE
	SIGN
CONC 4.85	CONCRETE ELEVATION
GRD 6.13	GROUND ELEVATION
TP 9.18	TOP OF PAVEMENT ELEVATION
TC 10.82	TOP OF CURB ELEVATION
BW 10.82	BACK OF WALK ELEVATION
FL 10.31	FLOW LINE ELEVATION

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Fax (510) 724–3383

REVISION SCHEDULE

No.	ISSUE	DATE

JOB NUMBER:	1C004A1G
DRAWN BY:	CW
CHECKED BY:	JL
DATE:	JANUARY 2019
SCALE:	1" = 30'

TITLE: TOPOGRAPHIC & BOUNDARY SURVEY

SHEET:

C-1.2

PRELIMINARY - Not for Construction -

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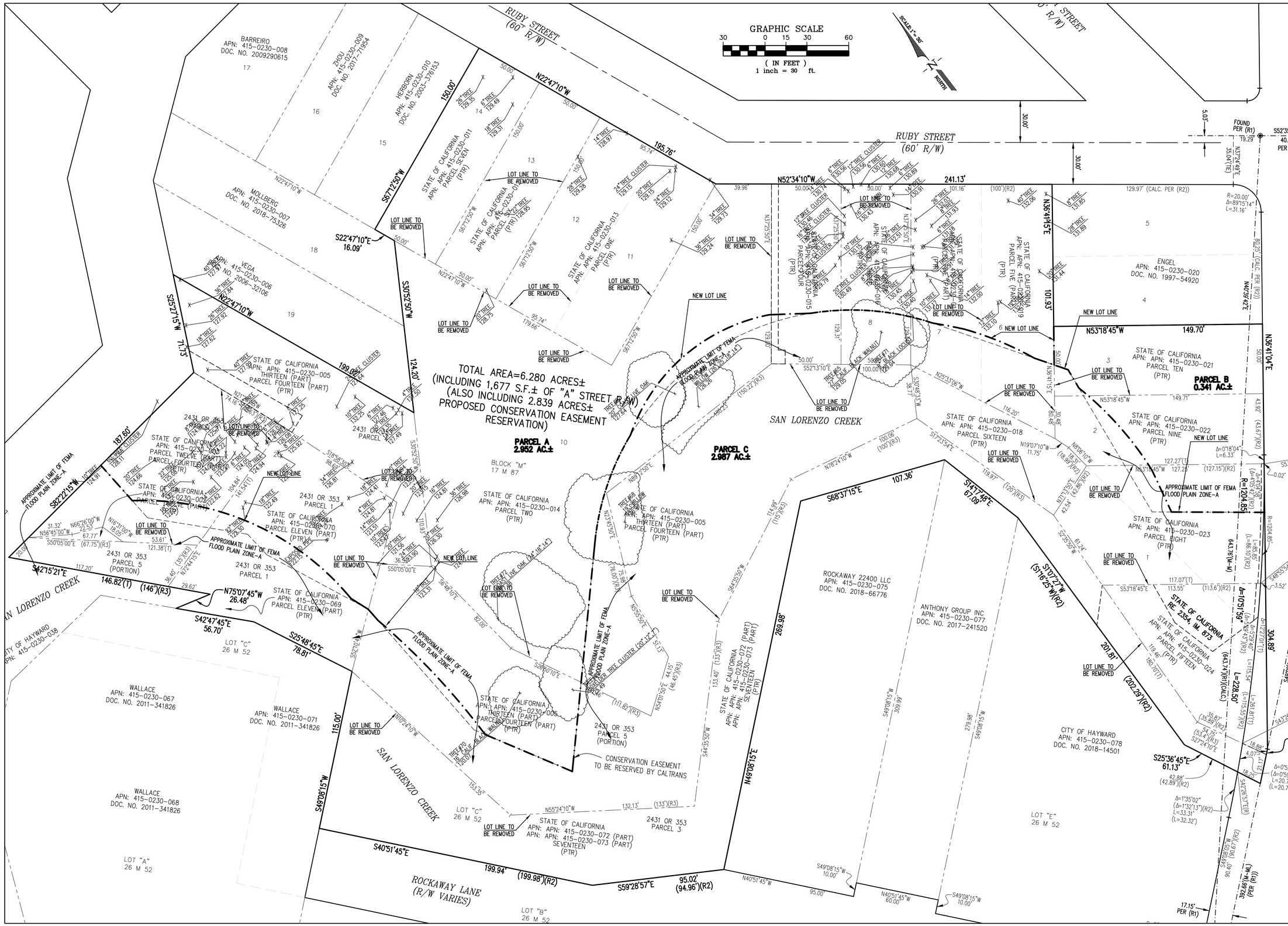
Plot Date: 01–17–2020



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REVISION SCHEDULE

No.	ISSUE	DATE

JOB NUMBER:	10004410
DRAWN BY:	CW
CHECKED BY:	JL
DATE:	JANUARY 2019
SCALE:	1" = 30'

TITLE: PROPOSED BOUNDARY (LOT LINE ADJUSTMENT)

SHEET:

C-1.3

PRELIMINARY - Not for Construction -

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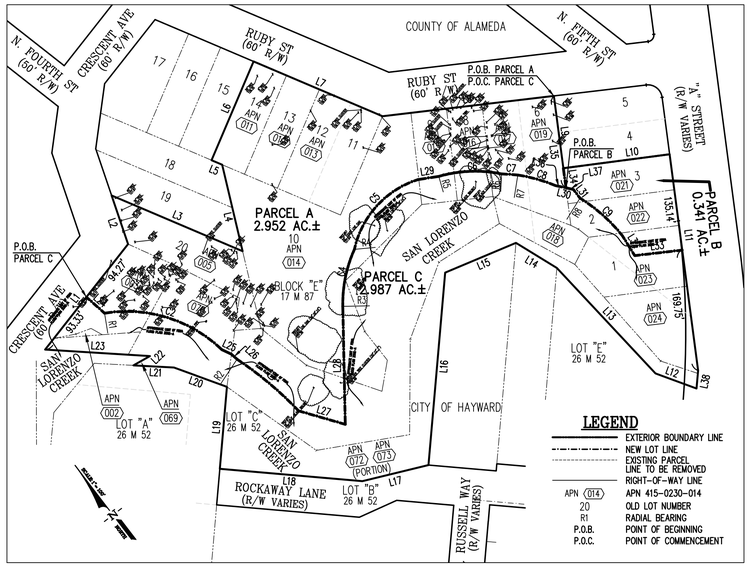
Plot Date: 01-17-2020



NEW LOT LINE DETAILS

SCALE: 1"=100'

LINE TABLE		
LINE	LENGTH	BEARING
L1	187.60'	S82°22'15"W
L2	71.73'	S25°27'15"W
L3	199.02'	N22°47'10"W
L4	124.20'	S30°52'50"W
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L11	304.89'	N36°41'04"E
L12	61.13'	N25°36'45"W
L13	201.81'	N01°07'27"E
L14	67.09'	N14°17'48"W
L15	107.36'	N68°37'15"W
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L19	115.00'	N49°08'15"E
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L22	26.48'	S75°07'45"E
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L25	14.62'	S20°41'25"E
L26	10.63'	S03°53'14"E
L27	67.85'	S29°40'37"E
L28	164.93'	N42°59'28"E
L29	29.58'	S54°39'52"E
L30	25.58'	S33°35'56"E
L31	15.23'	S06°46'58"W
L32	32.89'	S12°22'50"W
L33	66.83'	S52°25'36"E
L34	27.64'	S36°41'15"W
L35	129.57'	N36°41'15"E
L36	15.01'	S33°35'56"E
L37	10.57'	S33°35'56"E
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CURVE TABLE			
CURVE	LENGTH	RADIUS	DELTA
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C2	178.02'	193.08'	52°49'37"
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C5	137.96'	131.52'	60°06'11"
C6	88.60'	185.00'	27°26'26"
C7	22.78'	508.83'	02°33'56"
C8	54.81'	233.26'	13°27'47"
C9	79.44'	233.26'	19°30'51"

RADIAL BEARING	
R1	N35°03'37"E(R)
R2	N77°47'36"E(R)
R3	N47°00'32"W(R)
R4	N33°34'36"W(R)
R5	N28°13'42"E(R)
R6	N46°53'44"E(R)
R7	N53°04'14"E(R)
R8	N75°59'40"E(R)

NEW LOT LINE DIMENSIONS

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Phone (510) 724-3388
Fax (510) 724-3383

REVISION SCHEDULE

No.	ISSUE	DATE

JOB NUMBER:	10004A10
DRAWN BY:	C.W.
CHECKED BY:	JL
DATE:	JANUARY 2019
SCALE:	1" = 30'
TITLE:	LOT LINE ADJUSTMENT

SHEET:

C-1.4

PRELIMINARY - Not for Construction -

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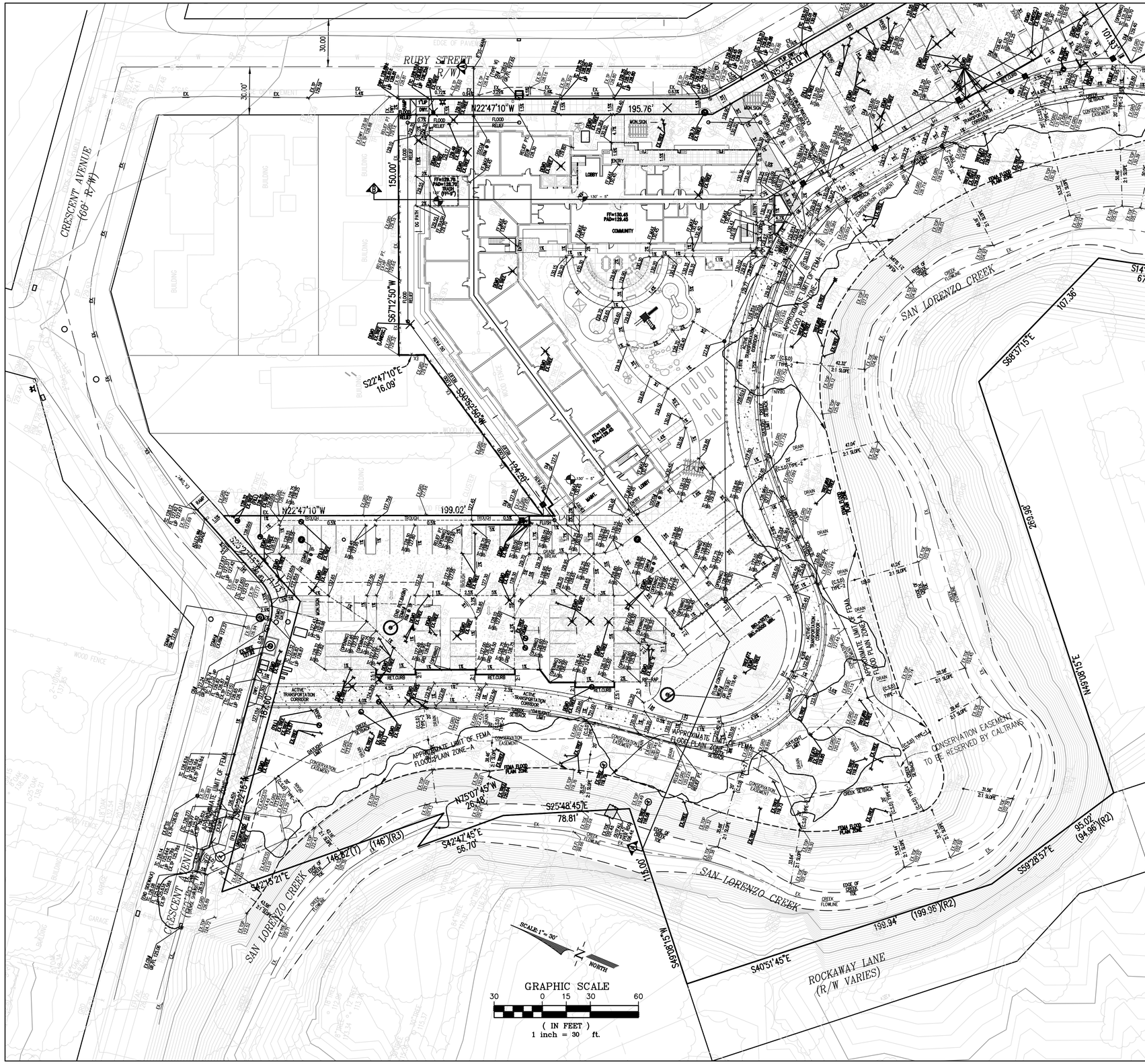
Plot Date: 01-17-2020



EARTHWORK:

ANALYSIS PERFORMED:

DATE: 01/07/2019

EARTHWORK QUANTITIES:

GROSS CUT = 2,070 CY
GROSS FILL = 3,490 CY

NET (FILL) = 1,420 CY

1. CONTRACTOR SHALL BE RESPONSIBLE FOR PERFORMING INDEPENDENT QUANTITY ANALYSIS PRIOR TO BIDDING.
2. ANALYSIS DOES NOT ACCOUNT FOR TRENCH SPOILS, FOOTINGS, SOIL-MITIGATION, OVER-EXCAVATION WORK, OR EXPANSION/CONTRACTION FACTORS.
3. FOUNDATION AND PAVEMENTS SECTIONS ASSUMED TO BE 12" THICK.

SECTIONS:

1. SEE SHEET C-4.1.3 FOR:
   - SITE SECTIONS
   - CREEK-SETBACK-DETERMINATION TYPICAL SECTION(S).

NOTES:

1. SEE COUNTY GRADING NOTES ON SHEET C-4.1.2
2. SEE BENCHMARK AND BEARING INFORMATION ON SHEET C-4.1.2

LEGEND

SYMBOLS	DESCRIPTION
	INTERIOR PROPERTY BOUNDARY LINE
	EXTERIOR PROPERTY BOUNDARY LINE
	ADJOINERS PROPERTY LINE
	STREET CENTERLINE
	EASEMENT LINE
	GRADE BREAK LINE
DAYLIGHT LIMIT	DAYLIGHT LIMIT (LIMIT OF WORK)
CONSERVATION EASEMENT	CONSERVATION EASEMENT
CREEK SETBACK (TYPE-#)	CREEK SETBACK DETERMINATION
FEMA FLOOD PLAIN ZONE	FEMA FLOOD PLAIN LIMIT
EDGE OF CREEK TOE	EDGE OF CREEK TOE
CREEK FLOWLINE	CENTER OF CREEK FLOWLINE
	ELECTROLIER
FH	FIRE HYDRANT
CB	CATCH BASIN
AD	AREA DRAIN
WV	WATER VALVE
WM	WATER METER
SDMH	STORM DRAIN MANHOLE
SSCO	SANITARY SEWER CLEANOUT
SSMH	SANITARY SEWER MANHOLE
GV	GAS VALVE
	SIGN
RD	ROOF DRAIN
JP	JOINT POLE
	FENCE
FF	FINISH FLOOR
CONC	CONCRETE
4.85	FINISH GRADE ELEVATION
GRD 6.13	GROUND ELEVATION
TP 9.18	TOP OF PAVEMENT ELEV.
TC 10.82	TOP OF CURB ELEVATION
BSW 10.82	BACK OF SIDEWALK ELEVATION
FL 10.31	FLOW LINE ELEVATION
6"W	WATER LINE
12"SD	STORM DRAIN LINE
8"SS	SANITARY SEWER LINE
JT	JOINT UTILITY TRENCH

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Phone (510) 724-3388
Fax (510) 724-3383

REVISION SCHEDULE

No.	ISSUE	DATE

JOB NUMBER:	10004A10
DRAWN BY:	CW
CHECKED BY:	JL
DATE:	JULY 9, 2019
SCALE:	1" = 30'
TITLE:	PRELIMINARY GRADING PLAN: ELEVATIONS

SHEET:

C-4.1.1

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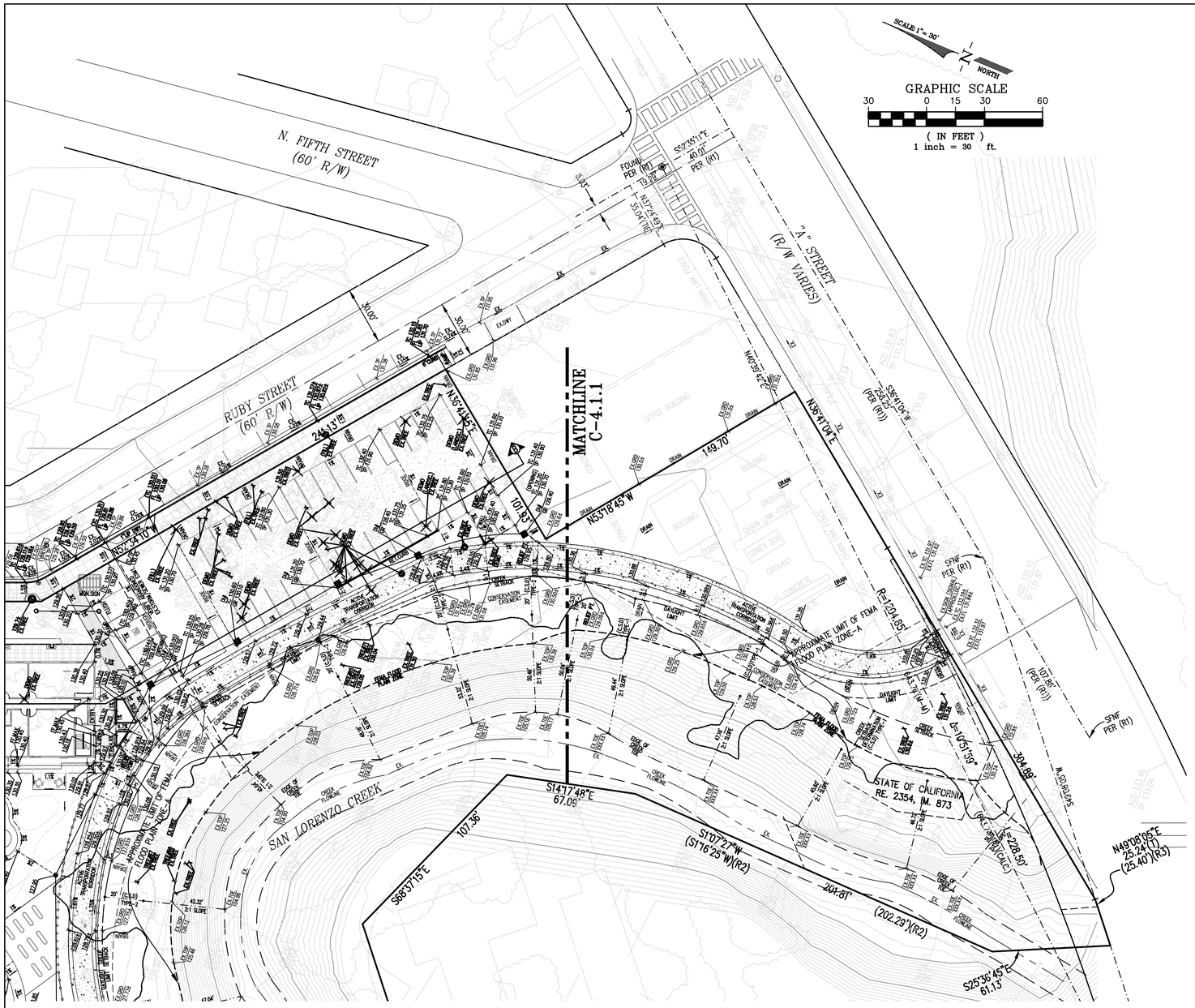
Plot Date: 01/17/2020



COUNTY GRADING NOTES:

1. NO GRADING SHALL BE PERMITTED UNTIL A GRADING PLAN AND EROSION AND SEDIMENTATION CONTROL PLANS HAVE BEEN REVIEWED AND APPROVED BY THE COUNTY AND A GRADING PERMIT OR EXEMPTION IS OBTAINED FROM THE COUNTY OF ALAMEDA PUBLIC WORKS AGENCY IN ACCORDANCE WITH PROVISIONS OF THE ALAMEDA COUNTY GRADING ORDINANCE.
2. NO GRADING WORK SHALL BE ALLOWED DURING THE RAINY SEASON, FROM OCTOBER 1 TO APRIL 30 EXCEPT UPON A CLEAR DEMONSTRATION, TO THE SATISFACTION OF THE DIRECTOR OF PUBLIC WORKS, THAT AT NO STAGE OF THE WORK WILL THERE BE ANY SUBSTANTIAL RISK OF INCREASED SEDIMENT DISCHARGE FROM THE SITE.
3. PRIOR TO ANY WORK WITHIN A WATERCOURSE SETBACK, A WATERCOURSE ENCROACHMENT PERMIT OR A GRADING PERMIT SHALL BE SECURED FROM THE COUNTY OF ALAMEDA PUBLIC WORKS AGENCY IN ACCORDANCE WITH PROVISIONS OF THE ALAMEDA COUNTY WATERCOURSE ORDINANCE. THE WATERCOURSE ORDINANCE ESTABLISHED A SETBACK OF 20 FEET FROM THE TOP OF BANK. HOWEVER, FOR EXISTING BANK SLOPES AT 2:1 OR STEEPER, ESTABLISH THE SETBACK BY DRAWING A LINE AT 2:1 FROM THE TOE OF THE EXISTING BANK TO A POINT WHERE IT INTERCEPTS THE GROUND SURFACE AND THEN ADDING 20 FEET. A SITE GRADING PLAN SHALL DELINEATE THIS WATERCOURSE SETBACK ACCORDINGLY.
4. PRIOR TO ANY GRADING WORK NEAR/WITHIN THE WATERCOURSE OR NEAR/WITHIN ANY POTENTIAL RIPARIAN HABITATS FOR THE STATE AND FEDERAL PROTECTED SPECIES, THE OWNER/DEVELOPER SHALL SECURE THE NECESSARY PERMITS OR APPROVALS REQUIRED FROM OTHER REGULATORY STATE AND FEDERAL AGENCIES AS REQUIRED.
5. SITES WITH LAND DISTURBANCES GREATER THAN (1) ONE ACRE MUST FILE A NOTICE OF INTENT (NOI) WITH THE STATE WATER RESOURCES CONTROL BOARD FOR COVERAGE UNDER THE STATE GENERAL NPDES PERMIT FOR CONSTRUCTION ACTIVITIES. A COPY OF THE NOI MUST BE SUBMITTED TO THE DISTRICT PRIOR TO ISSUANCE OF A GRADING PERMIT FOR THE SITE OR ANY LAND DISTURBANCE ON THE SITE. A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) SHALL BE MADE AVAILABLE TO THE DISTRICT PRIOR TO ISSUANCE OF GRADING PERMIT OR ANY LAND DISTURBANCE ON THE SITE.

BASIS OF BEARINGS

THE BASIS OF BEARINGS OF THIS SURVEY IS BASED ON FOUND STREET MONUMENTS ALONG "A" STREET BETWEEN ROCKAWAY LANE AND RUBY STREET AS SHOWN ON THAT CERTAIN RECORD OF SURVEY, FILED AUGUST 7, 1973, IN BOOK 9 OF RECORDS OF SURVEY, AT PAGES 30–31, IN THE OFFICE OF THE COUNTY RECORDER OF ALAMEDA COUNTY, STATE OF CALIFORNIA. THE BEARING IS TAKEN AS NORTH 40°51'45" WEST PER CALIFORNIA DEPARTMENT OF TRANSPORTATION RIGHT OF WAY RECORD MAP R–167.3.

BENCHMARK

ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).

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Luk and Associates
Civil Engineering
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738 Alfred Nobel Drive
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REVISION SCHEDULE

No.	ISSUE	DATE

JOB NUMBER:	10004A10
DRAWN BY:	CW
CHECKED BY:	JL
DATE:	JULY 9, 2019
SCALE:	1" = 30'
TITLE:	PRELIMINARY GRADING PLAN: ELEVATIONS

SHEET:

C-4.1.2

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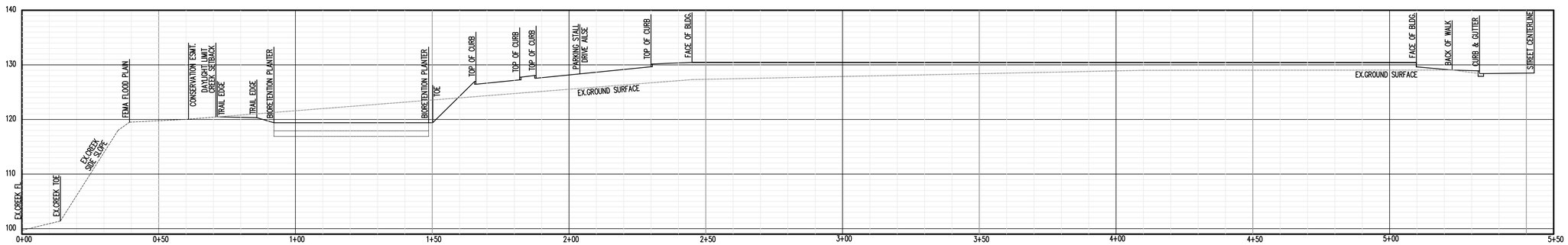
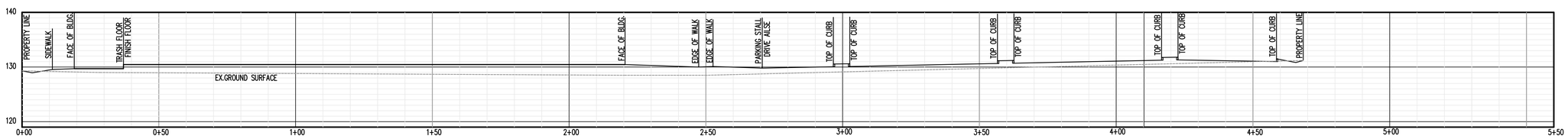


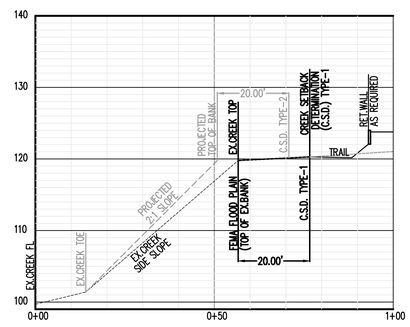
SECTION A–A

HORZ. 1"=20'
VERT. 1"=10'



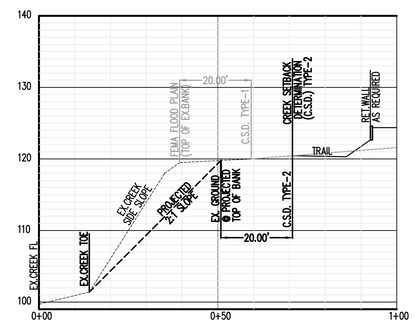
SECTION B–B

HORZ. 1"=20'
VERT. 1"=10'



CREEK SETBACK DETERMINATION TYPE–1

EXAMPLE: FLOOD PLAIN SETBACK
HORZ. 1"=20'
VERT. 1"=10'



CREEK SETBACK DETERMINATION TYPE–2

EXAMPLE: PROJECTED SLOPE SETBACK
HORZ. 1"=20'
VERT. 1"=10'

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SHEET:

C-4.1.3

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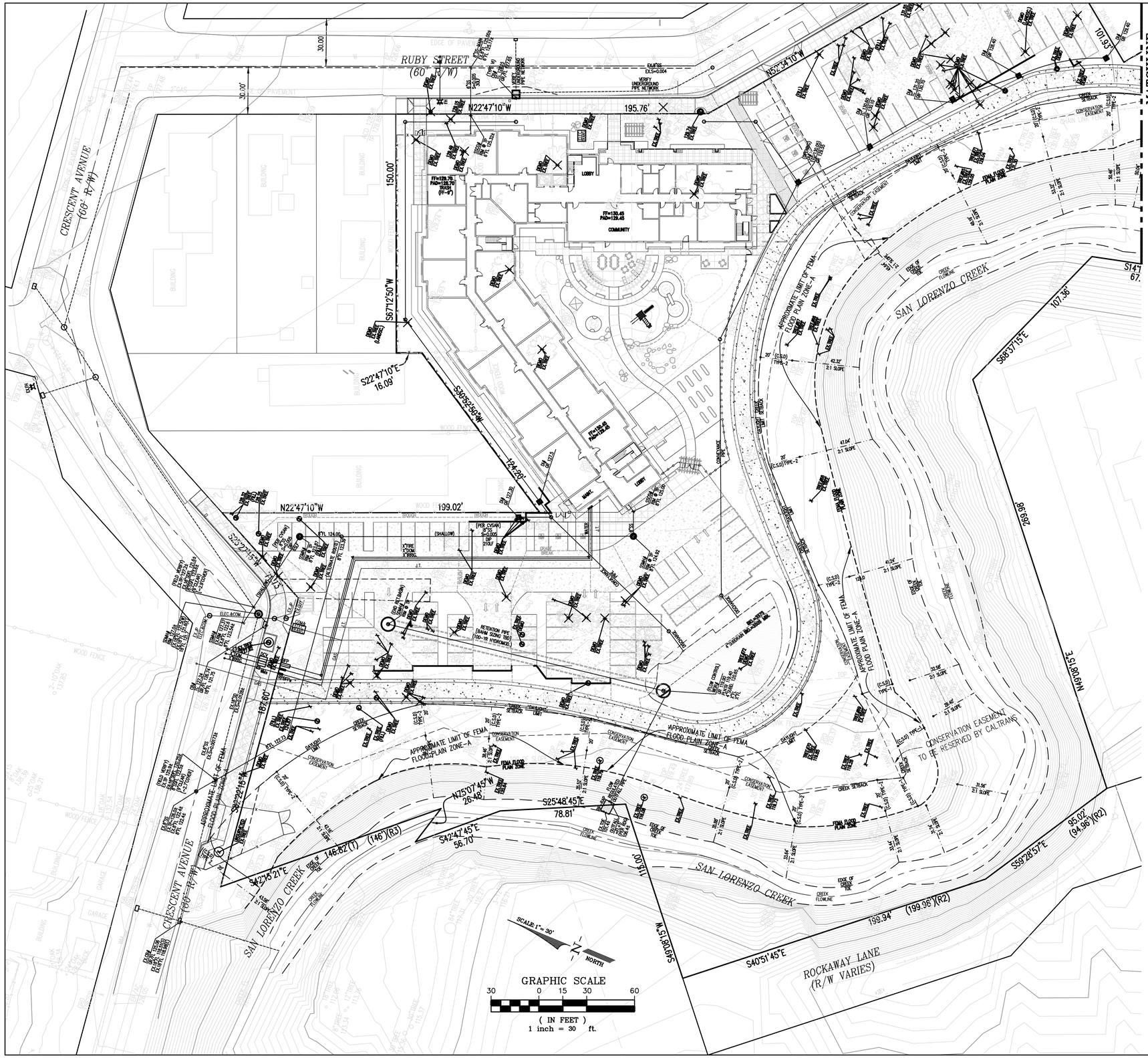

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TITLE:	PRELIMINARY UTILITY PLAN

SHEET:

C-5.1

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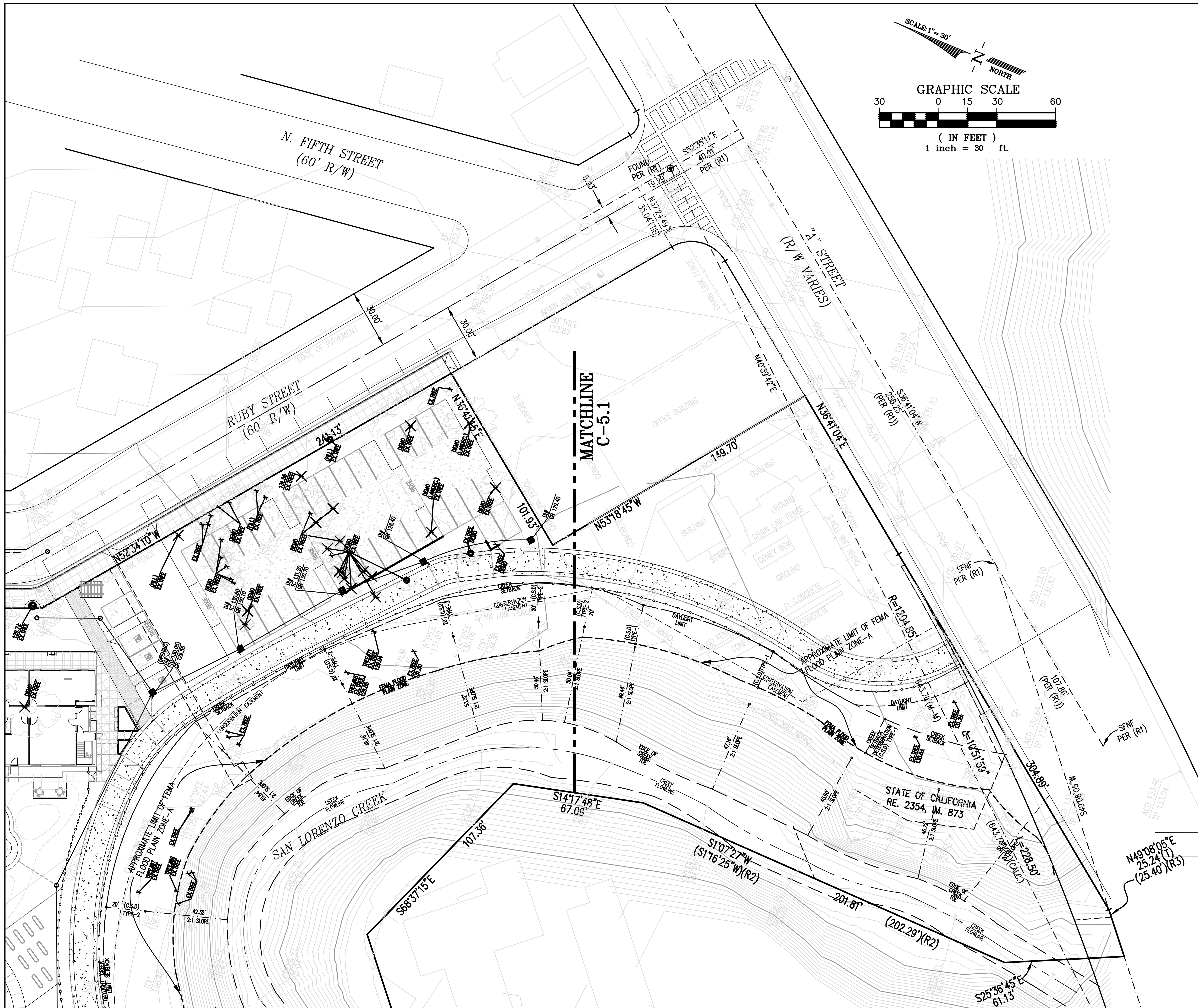

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TITLE:	PRELIMINARY UTILITY PLAN

SHEET:

C-5.2

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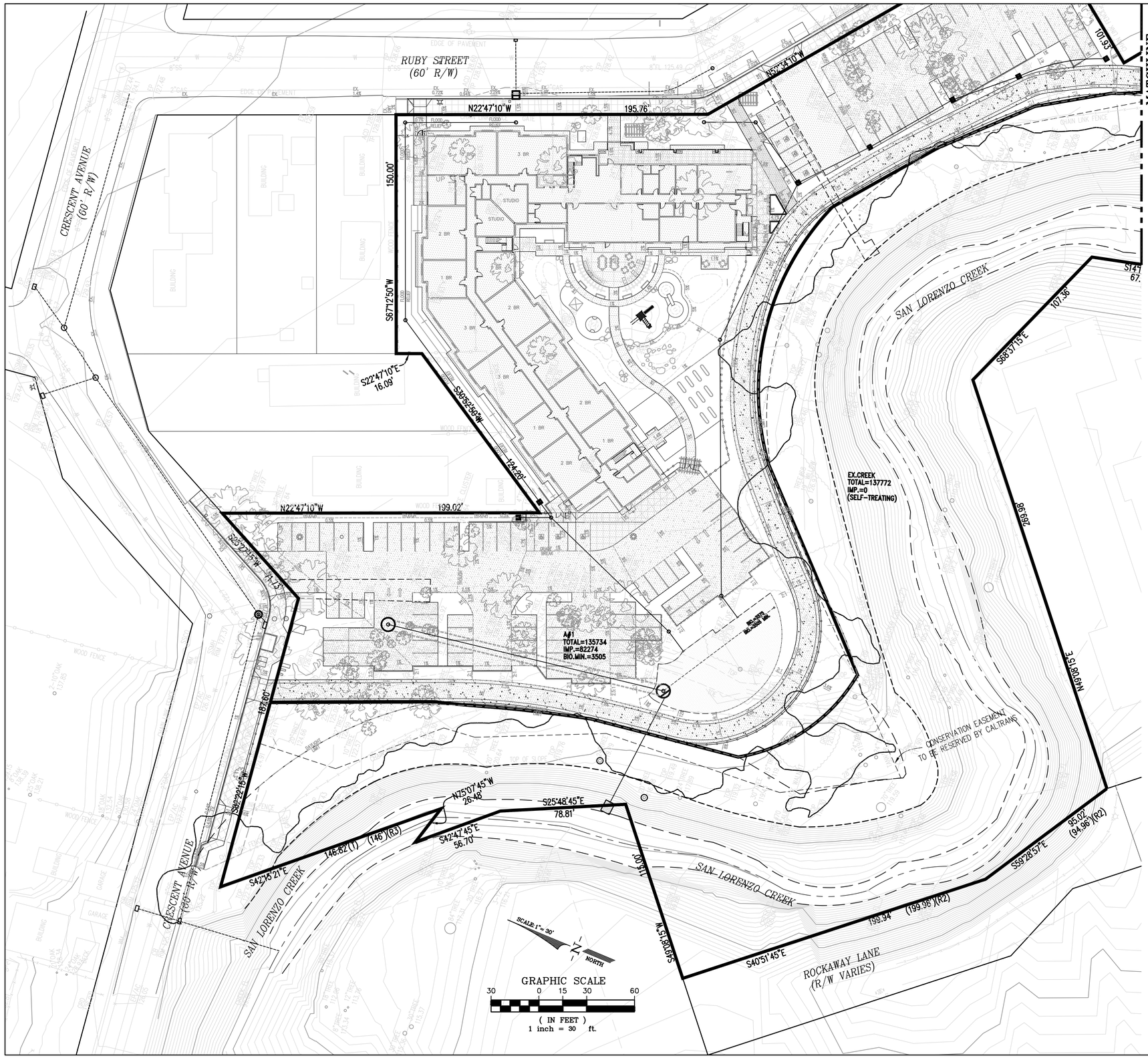

STORM TREATMENT NOTES:

MAR=21"
SOILS CLASS D (CLAY) [ASSUMED]

PER ALAMEDA COUNTY CLEAN WATER PROGRAM PUBLICATION: "STORMWATER C3 GUIDEBOOK" DATED OCTOBER 31, 2017 (VERSION 6).

1) HYDRO-MODIFICATION & STORM TREATMENT:

A) THE PROJECT CREATES BETWEEN 10,000-SF AND 1-ACRE OF IMPERVIOUS SURFACE AREA FOR THE PROPOSED PRIVATE PROPERTY. THUS THE PROJECT WILL BE REQUIRED TO SUBMIT A STORMWATER CONTROL PLAN AND INCLUDE LID MEASURES.

B) AS THE PROJECT PROPOSES MORE THAN 1-ACRE OF IMPERVIOUS SURFACES ON THE SITE AND IS LOCATED WITHIN AN "ATTACHMENT-A: HMP SUSCEPTIBILITY MAP" AREA. THUS, HYDROMODIFICATION (FLOW CONTROL) IS A REQUIREMENT PER THE GUIDEBOOK.

2) THE PROJECT SITE IS DELINEATED INTO THE MANAGEMENT AREAS SHOWN ON THE CHART ON THIS SHEET.

3) THE TREATMENT METHOD IS CHOSEN TO BE BIORETENTION FACILITY.

CRITERIA APPLY TO BIORETENTION FACILITY (FOR TREATMENT AND FLOW CONTROL):

- SIZING FACTOR (SF) [BIORETENTION FACILITY] = 4%
- SURFACE RESERVOIR DEPTH = 6 INCHES TYPICAL
- SOIL MIX DEPTH = 18 INCHES TYPICAL (5 IN/HR MIN.)
- UNDERDRAIN = 4 INCHES PVC PIPE MINIMUM.

4) FOR SELF-RETAINING AREAS, THE RATIO OF IMPERVIOUS TO PERVIOUS AREA SHALL BE LESS THAN OR EQUAL TO 2:1 (TREATMENT ONLY) OR 1:1 (TREATMENT & FLOW CONTROL). SELF-RETAINING AREAS SHALL CAPTURE AND FLOW CONTROL A 1" PRECIPITATION DEPTH PER COUNTY DESIGN STANDARDS*.

5) FOR SELF-TREATING AREAS, THE PERCENTAGE OF IMPERVIOUS AREA MUST BE LESS THAN 5% PER COUNTY DESIGN STANDARDS**.

* TREATMENT SIZING CRITERIA ESTABLISHED BY ALAMEDA COUNTY

STORM TREATMENT DESIGN (PER ALAMEDA COUNTY)

DMA & IMP NAME	TYPE	A SIZING FACTOR	D.M. AREA (S.F.)	RUNOFF SURFACE TYPE	C-FACTOR ADJUSTMENT VALUE	MIN. SIZE (S.F.)	PLANNED SIZE (S.F.)
A1	BIO-RETENTION AREA	4% *	82274	IMPERVIOUS	N/A	3505	3575
		0.4%	53460	PERVIOUS	N/A		
		0.4%	0	PERM.-PAVERS	N/A		
EX.CREEK	SELF-TREATING AREA	4% *	0	IMPERVIOUS	N/A	N/A	N/A
		0.4%	137772	PERVIOUS	N/A		
		0.4%	0	PERM.-PAVERS	N/A		

LEGEND

- IMPERVIOUS SURFACE
- BIORETENTION AREA
- DRAINAGE MANAGEMENT AREA LIMIT
- **AREA#** DRAINAGE MANAGEMENT AREA
- **TOTAL =** TOTAL DRAINAGE AREA
- **IMP. =** IMPERVIOUS AREA

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C-6.1

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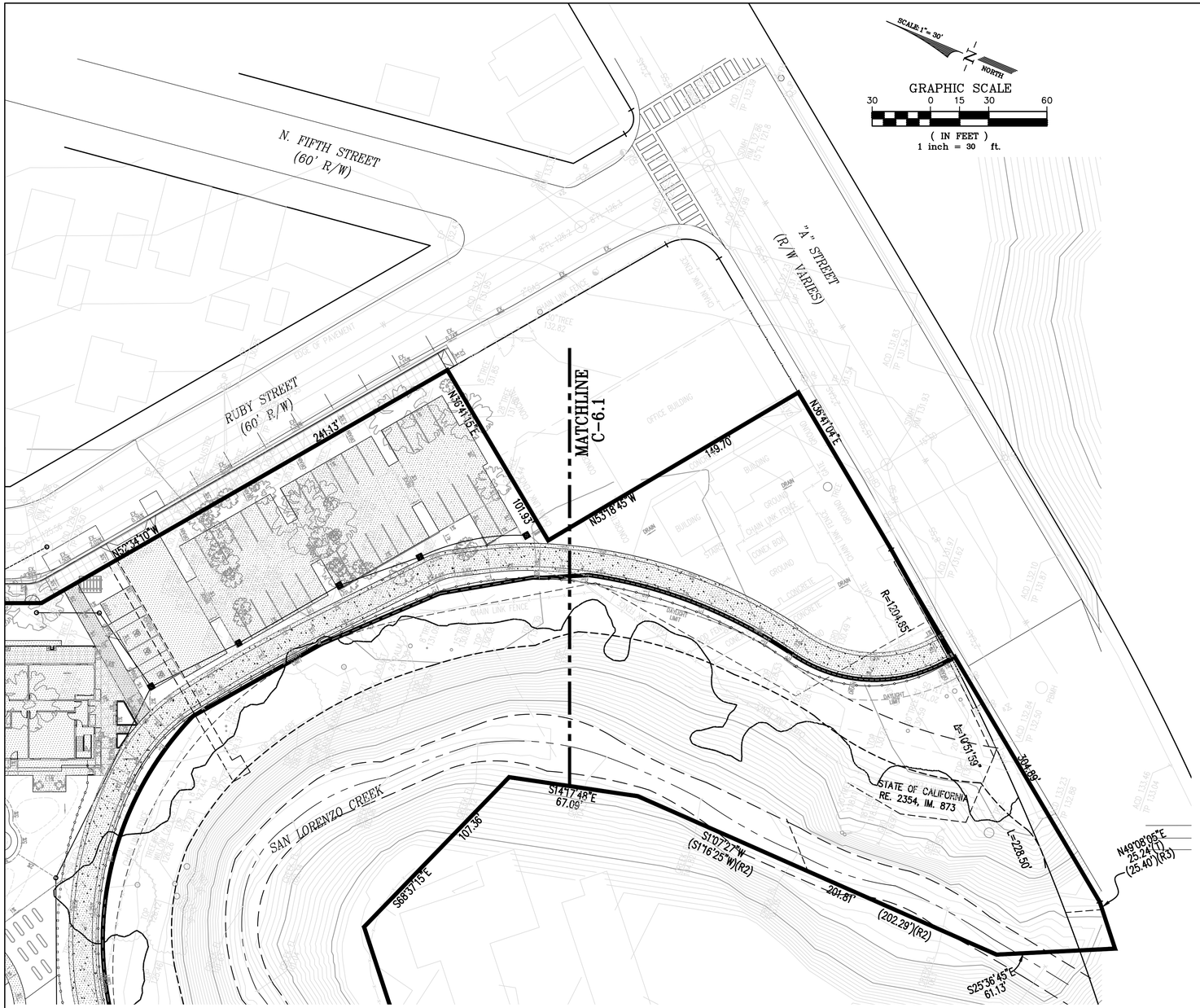

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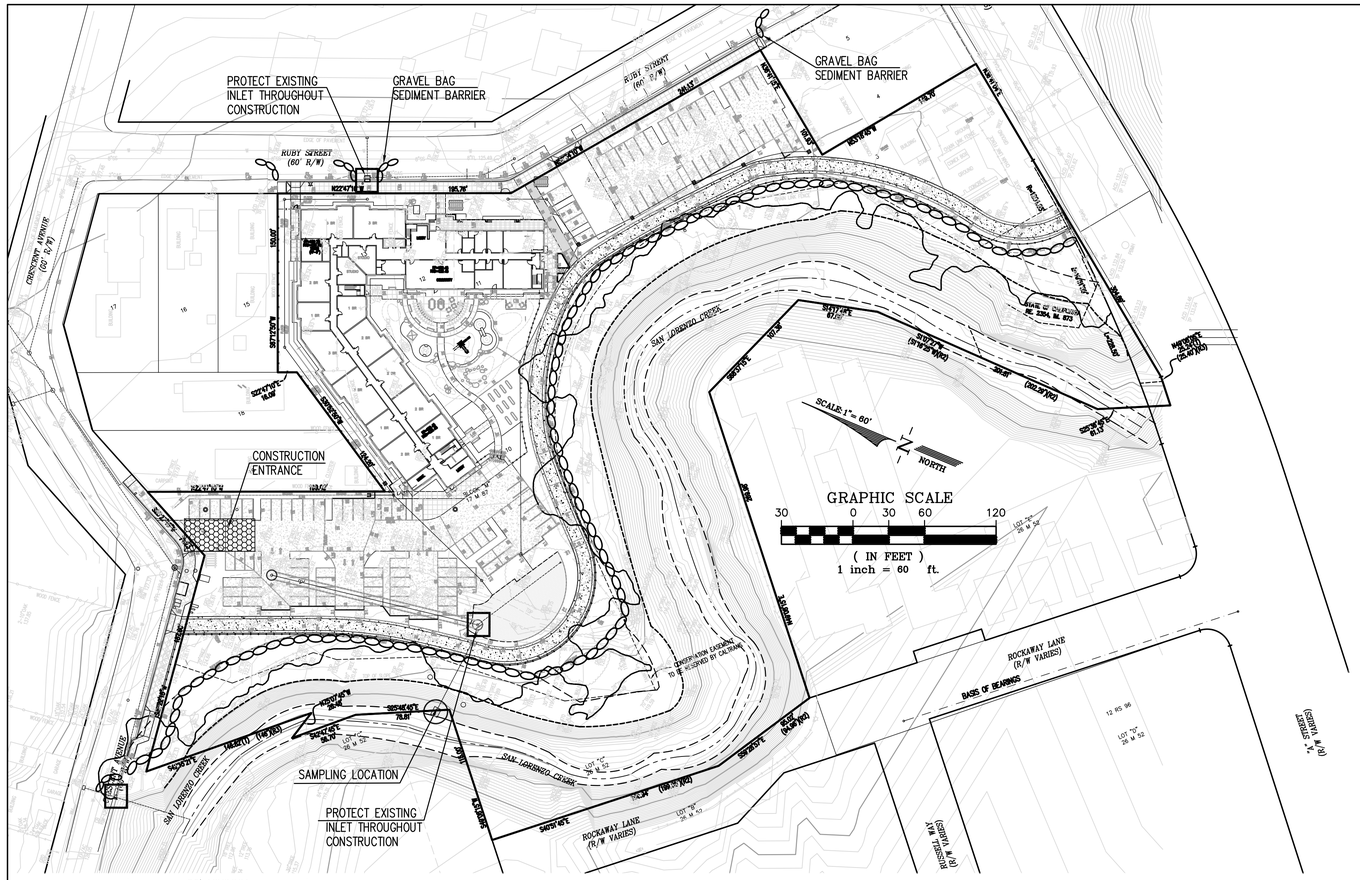


LEGEND

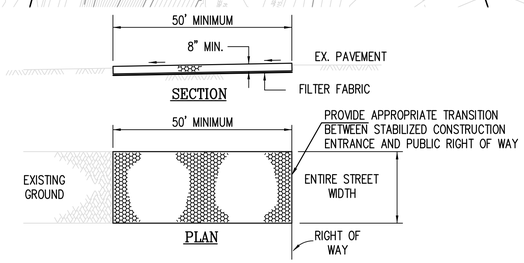
- COMPOST FILTER SOCK
- GRAVEL CONSTRUCTION ENTRANCE AND WASH AREA
- STORM INLET PROTECTION
- SAMPLING LOCATION

EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR ALL ASPECTS OF "EROSION CONTROL" AND SHALL INSTALL AND MAINTAIN ANY DEVICES AND MEASURES NECESSARY TO THE SATISFACTION OF THE COUNTY ENGINEER DURING THE ENTIRE CONSTRUCTION PERIOD.
2. THE CONTRACTOR SHALL PLACE COARSE DRAIN ROCK AS A GRAVEL ROADWAY (8" MIN. THICK FOR THE FULL WIDTH AND 50' LONG) AT EACH ENTRANCE TO THE SITE. ANY MUD THAT IS TRACKED ONTO PUBLIC STREETS SHALL BE REMOVED THAT SAME DAY AND AS REQUIRED BY THE COUNTY INSPECTOR.
3. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL DISTURBED AREAS ARE STABILIZED AND CHANGES TO THIS EROSION AND SEDIMENT CONTROL PLAN SHALL BE MADE TO MEET FIELD CONDITIONS ONLY WITH THE APPROVAL OF OR AT THE DIRECTION OF THE COUNTY ENGINEER.
4. DURING THE ENTIRE CONSTRUCTION PERIOD, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED TO MINIMIZE SEDIMENT-LADEN RUNOFF TO ANY STORM DRAINAGE SYSTEM.
5. THIS PLAN COVERS ONLY THE FIRST WINTER FOLLOWING GRADING. PLANS ARE TO BE RE-SUBMITTED FOR COUNTY APPROVAL PRIOR TO SEPTEMBER 1 OF EACH SUBSEQUENT YEAR UNTIL THE SITE IMPROVEMENTS ARE ACCEPTED BY THE COUNTY.
6. ALL EROSION CONTROL FACILITIES MUST BE INSPECTED AND REPAIRED AT THE END OF EACH WORKING DAY OR DAILY DURING THE ENTIRE CONSTRUCTION PERIOD.
7. ANY SEDIMENT BASINS SHALL BE CLEARED OUT WHENEVER SEDIMENT REACHES THE SEDIMENT CLEANOUT LEVEL INDICATED ON THE PLANS.
8. BORROW AREAS AND TEMPORARY STOCKPILES SHALL BE PROTECTED WITH APPROPRIATE EROSION CONTROL MEASURES TO THE SATISFACTION OF THE COUNTY ENGINEER.
9. ALL CUT AND FILL SLOPES ARE TO BE PROTECTED TO PREVENT OVERBACK FLOW.
10. THIS PLAN MAY NOT COVER ALL SITUATIONS THAT ARISE DURING CONSTRUCTION DUE TO ANTICIPATED FIELD CONDITIONS. VARIATIONS MAY BE MADE TO THE PLAN IN THE FIELD, SUBJECT TO THE APPROVAL OF THE COUNTY.
11. HYDROSEED ALL CUT AND FILL SLOPES WHICH ARE STEEPER THAN 5% WITH THE FOLLOWING (VOLUMES SHOWN ARE PER ACRE OF SLOPE):

    FERTILIZER: 500 LBS. 16-6-8
    SEED: 60 LBS. BLANDO BROME GRASS
    60 LBS. ANNUAL RYE GRASS
    30 LBS. ROSE CLOVER
    CHEMICAL TACKIFIER 2000 LBS. WOOD CELLULOSE
    30 LBS. ORGANIC BINDER

12. TO CONTROL EROSION WITHIN THE STREET RIGHT-OF-WAY, FIBER ROLLS, SANDBAGS, EARTH BERMS OR OTHER SUITABLE MATERIALS SHALL BE PLACED WITHIN ALL UNPAVED STREETS DURING THE ENTIRE CONSTRUCTION PERIOD. THESE ROLLS OF FIBER SHALL BE PLACED AS SHOWN ON PLAN OR AS REQUIRED BY THE CITY ENGINEER (SEE FIBER ROLL DETAIL, THIS SHEET). THE ROLLS SHALL BE SECURELY ANCHORED IN PLACED BY STAKES OR REBARS DRIVEN THROUGH THE ROLLS WITH THE FIRST STAKE IN EACH ROLL ANGLED TOWARD THE PREVIOUSLY LAID ROLL TO FORCE THEM TOGETHER. THE ROLLS SHALL BE MAINTAINED IN GOOD CONDITION FOR THE ENTIRE CONSTRUCTION PERIOD UNTIL THE STREET IS PAVED. ROLLS OF FIBER OR OTHER SUITABLE MATERIALS SHALL BE USED TO PREVENT SEDIMENT LADEN RUNOFF FROM ENTERING ANY PARTIALLY COMPLETED STORM DRAIN SYSTEM.
13. TO MINIMIZE STORM WATER RUNOFF FROM THE SITE, FIBER ROLLS SHALL BE CONSTRUCTED ON EACH PAD AS IT IS GRADED. THE FIBER ROLLS SHALL BE 1-FOOT MINIMUM IN HEIGHT AND PLACED SO THE STORM WATER FALLING ONTO THE PAD AREA AND THE SURROUNDING UPHILL BANKS WILL BE TRAPPED ON THE PAD. THE CONTRACTOR IS RESPONSIBLE FOR INSPECTING AND REPAIRING THE ROLLS ON EACH PAD DURING THE ENTIRE CONSTRUCTION PERIOD AND MAINTAINING THEM IN GOOD CONDITION UNTIL THE BUILDING CONSTRUCTION IS COMPLETED. THE CONTRACTOR SHALL ENSURE COMPLIANCE WITH THE REQUIREMENTS REGARDING PAD MOISTURE CONTENT, COMPACTION, AND ALL OTHER CONDITIONS SET FORTH BY THE GEOTECHNICAL ENGINEER.
14. WHEN TEMPORARY STRUCTURES HAVE SERVED THEIR INTENDED PURPOSE AND THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED, THE ENBANKMENT AND RESULTING SEDIMENT DEPOSITS ARE TO BE LEVELED OR OTHERWISE DISPOSED OF AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER.
15. CONTRACTOR IS RESPONSIBLE FOR ALL AGENCY EROSION CONTROL PLANS AND PAPERWORK AND IS RESPONSIBLE FOR ALL CLOSURES OF THESE FILINGS.
16. ALL GRADED OR DISTURBED AREAS THAT WILL BE IDLE DURING THE RAINY SEASON SHALL BE MULCHED AT THE MINIMUM RATE OF TWO TONS PER ACRE.
17. CONTRACTOR TO REFER TO STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR EROSION CONTROL MEASURES DURING CONSTRUCTION.



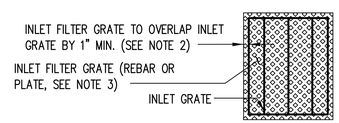
REFER TO STORM WATER POLLUTION PREVENTION PLAN FOR MORE DETAILS.
ALSO REFER TO THE RWQCB OR ABAG EROSION CONTROL MEASURE MANUAL.

CONSTRUCTION SPECIFICATIONS

1. CONSTRUCTION AND MAINTENANCE OF THE COMPOST FILTER SOCK CAN BE FOUND AT WWW.TOPSPRAY.COM/EROSIONCONTROL/FILTERSOXX153/TABID/155/DEFAULT.ASPX
2. THE MATERIAL FOR CONSTRUCTION SHALL BE 3 TO 4 INCH ROCK.
3. LENGTH – AS EFFECTIVE, BUT NOT LESS THAN 50 FEET.
4. THICKNESS – NOT LESS THAN EIGHT (8) INCHES.
5. WIDTH – NOT LESS THAN FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
6. WASHING – WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT OF WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH, OR WATERCOURSE THROUGH USE OF SAND BAGS, GRAVEL BOARDS OR OTHER APPROVED METHODS.
7. MAINTENANCE – THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT OF WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT OF WAY MUST BE REMOVED IMMEDIATELY.

CONSTRUCTION ENTRANCE DETAIL

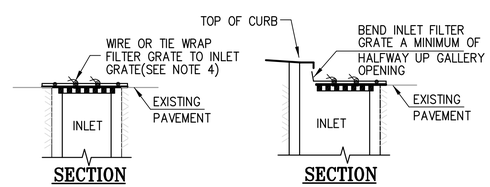
NOT TO SCALE



INLET PROTECTION DETAIL

(ALL AREAS)

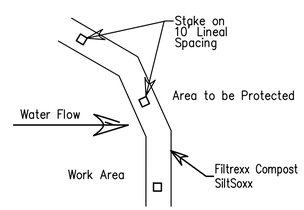
NOT TO SCALE



INLET PROTECTION DETAIL

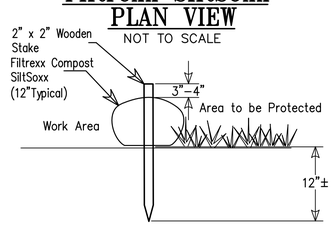
(PAVED AREAS)

NOT TO SCALE



Filtrexx SiltSoxx PLAN VIEW

NOT TO SCALE

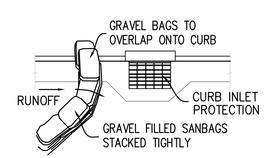


Filtrexx SiltSoxx SECTION

NOT TO SCALE

NOTES:

1. ALL MATERIAL TO MEET FILTREXX SPECIFICATIONS. SPECIFICATION CAN BE FOUND AT http://www.filtrexx.com/4.1.1%20SWPPP%20-%20SiltSoxx.pdf
2. SILTSOXX COMPOST TO MEET APPLICATION REQUIREMENTS.
3. SILTSOXX DEPICTED IS FOR MINIMUM SLOPES. GREATER SLOPES MAY REQUIRE LARGER SOCKS PER THE ENGINEER.
4. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.
5. FILTER MATERIAL AND GRATE SHALL OVERLAP INLET ON ALL SIDES BY A MINIMUM OF 1".
6. INLET FILTER GRATE SHALL BE MADE OF #3 RE-BARS, CRISS CROSSED AT 6"(WELDED OR TIED TOGETHER WITH WIRE) OR A PLATE WITH A MINIMUM OF 75% OPEN AREA, BOTH OF SUFFICIENT STRENGTH TO PREVENT BENDING WHEN DRIVEN OVER BY A VEHICLE.
7. INLET FILTER GRATE SHALL BE SECURELY ATTACHED TO DRAIN INLET BY WIRE OR TIE-WRAPS(BEND OVER).
8. FILTERS SHALL BE INSPECTED WEEKLY AND BEFORE AND AFTER EACH RAINFALL. REPAIRS, SEDIMENT/DEBRIS REMOVAL SHALL BE MADE TO ASSURE EFFICIENCY FUNCTIONING OF FILTER SYSTEM.



STREET GUTTER BARRIER

NOT TO SCALE

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Ruby St, Castro Valley, CA 94546

STAMP:

Luk and Associates
Civil Engineering
Land Planning
Land Surveying
738 Alfred Nobel Drive
Hercules, CA 94547
Phone (510) 724-3388
Fax (510) 724-3383

REVISION SCHEDULE

No.	ISSUE	DATE

JOB NUMBER:	10004A10
DRAWN BY:	CW
CHECKED BY:	JL
DATE:	JULY 9, 2019
SCALE:	1" = 30'
TITLE:	PRELIMINARY EROSION CONTROL PLAN
SHEET:	C-7.1

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Plot Date: 01/17/2020

LEGEND

1. BOLLARD AND WIRE ROPE FENCING, SEE DETAIL 3/L2.1
2. FULL CALTRANS TRAIL 10' WIDE ASPHALT WITH 2' DECOMPOSED GRANITE SHOULDERS
3. BIORETENTION AREA
4. SAN LORENZO CREEK
5. EXISTING TREE TO REMAIN, TYPICAL
6. WOOD TRELLIS AT ENTRY SIGNAGE
7. ENTRY PLAZA
8. 6' HIGH ORNAMENTAL METAL FENCE, SEE DETAIL 2/L2.1
9. 6-8' HIGH GOOD NEIGHBOR FENCE - WOOD, SEE DETAIL 1/L2.1
10. DECOMPOSED GRANITE FIRE ACCESS PATH
11. DECORATIVE PAVING

0 15' 30' 60'

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REVISION SCHEDULE

NO.	ISSUE	DATE

JOB NUMBER:	1744
DRAWN BY:	Author
CHECKED BY:	Checker
DATE:	01/27/2020
SCALE:	1" = 30'-0"

TITLE:

PRELIMINARY LANDSCAPE PLAN

SHEET:

L1.1

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LEGEND

1. PLAY MOUNDS
2. FULL CALTRANS TRAIL 10' WIDE ASPHALT WITH 2' DECOMPOSED GRANITE SHOULDERS
3. GALVANIZED VEGETABLE PLANTERS
4. WOOD TRELLIS
5. BENCH, TYPICAL
6. ROCK/BOULDER MOUND
7. BBQ AND COUNTER
8. PLAY AREA, AGES 5-12
9. PLAY AREA, AGES 2-5
10. DECOMPOSED GRANITE PAVING
11. COMMUNITY GATHERING AREA
12. ENTRY PLAZA
13. EXISTING TREE TO REMAIN, TYPICAL
14. TREE GROVE
15. DECOMPOSED GRANITE FIRE ACCESS PATH
16. 6' HIGH FENCE, ORNAMENTAL METAL, SEE DETAIL 2/L2.1
17. 6' HIGH GOOD NEIGHBOR FENCE - WOOD, SEE DETAIL 1/L2.1
18. ORNAMENTAL METAL GATE, TYP.
19. RESILIENT PAVING PLAY SURFACING
20. BOLLARD AND WIRE ROPE FENCING, SEE DETAIL 3/L2.1
21. PUBLIC TRAIL ACCESS

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JOB NUMBER:	1744
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SCALE:	1" = 10'-0"

TITLE:
PRELIMINARY
LANDSCAPE PLAN - COURTYARD

SHEET:

L1.2

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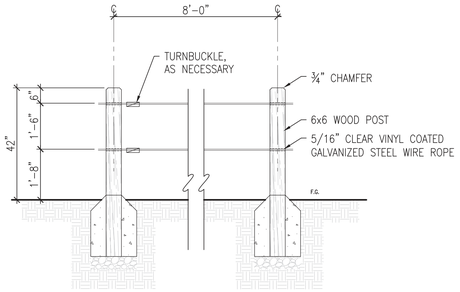
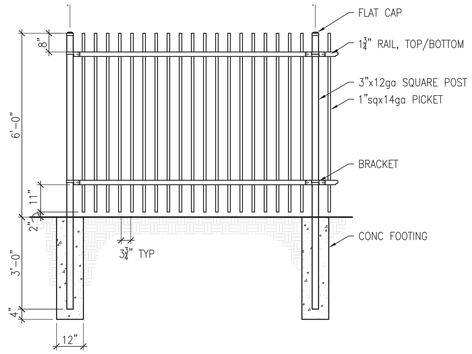
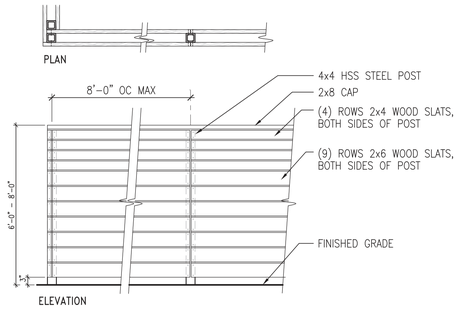


3 BOLLARD AND WIRE ROPE FENCING
SCALE: 1/2" = 1'-0"

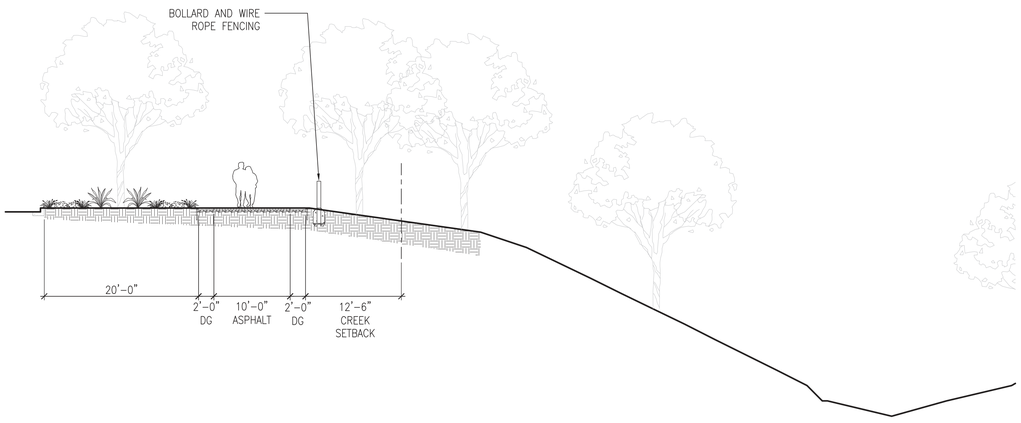


2 ORNAMENTAL METAL FENCE
SCALE: 1" = 1'-0"



NOTE
SLATS TO OCCUR ON BOTH SIDES OF FENCE.

1 WOOD GOOD-NEIGHBOR FENCE
SCALE: 1/2" = 1'-0"



4 OPTION B SECTION AT TRAIL
SCALE: 1/8" = 1'-0"

GALVANIZED VEGETABLE PLANTERS

COMMUNITY GATHERING AREA

BIORETENTION BASIN

ROCK/BOULDER MOUND

WOOD TRELLIS

PLAY STRUCTURE

PLAY MOUNDS

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REVISION SCHEDULE

NO.	ISSUE	DATE

JOB NUMBER:	1744
DRAWN BY:	Author
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DATE:	01/27/2020

SCALE:

TITLE:
PRECEDENT IMAGES AND CONCEPT DETAILS

SHEET:
L2.1

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PRELIMINARY PLANT PALETTE

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	WTR USE
STREET TREES					
	GINKGO BILOBA 'AUTUMN GOLD'	MAIDENHAIR TREE	24" BOX	PER PLAN	M
SHADE TREE – PARKING					
	PLATANUS ACERIFOLIA	LONDON PLANE TREE	24" BOX	PER PLAN	M
SHADE TREE – NATIVE TREES					
	QUERCUS AGRIFOLIA	COAST LIVE OAK	24" BOX	PER PLAN	L
	QUERCUS LOBATA	VALLEY OAK	24" BOX	PER PLAN	L
FOCAL POINT TREE					
	QUERCUS LOBATA	VALLEY OAK	36" BOX	PER PLAN	L
SCREENING TREES					
	PODOCARPUS GRACILIOR	FERN PODOCARPUS	24" BOX	PER PLAN	M
	TRISTANIOPSIS LAURINA	WATER GUM	24" BOX	PER PLAN	M
SMALL ACCENT TREES					
	LAGERSTROEMIA INICA	CRAPE MYRTLE	24" BOX	PER PLAN	L
	ACER PALMATUM	JAPANESE MAPLE	24" BOX	PER PLAN	M
LARGE SHRUBS					
	ARCTOSTAPHYLOS X 'SUNSET'	SUNSET MANZANITA	5 GAL	6'–0" OC	L
	CARPENTERIA CALIFORNICA	ELIZABETH BUSH ANEMONE	5 GAL	4'–0" OC	L
	CEANOTHUS 'DARK STAR'	CALIFORNIA LILAC	5 GAL	5'–0" OC	L
	MYRICA CALIFORNICA	PACIFIC WAX MYRTLE	5 GAL	9'–0" OC	M
	PITTOSPORUM TOBIRA 'VARIEGATA'	VARIEGATED MOCK ORANGE	5 GAL	4'–0" OC	L
	RHAMNUS CALIFORNICA	COFFEEBERRY	5 GAL	7'–0" OC	L
MEDIUM SHRUBS, GRASSES, & PERENNIALS					
	ACACIA COGNATA 'COUSIN ITT'	LITTLE RIVER WATTLE	5 GAL	3'–0" OC	L
	AGAVE ATTENUATA	BLUE FOX TAIL AGAVE	5 GAL	3'–0" OC	L
	BUXUS 'GREEN MOUNTAIN'	GREEN MNTN BOXWOOD	5 GAL	3'–0" OC	M
	CHONDROPETALUM TECTORUM	CAPE RUSH	1 GAL	3'–0" OC	L
	DIETES BICOLOR	FORTNIGHT LILY	1 GAL	3'–0" OC	L
	CORREA 'WYNS WONDER'	AUSTRALIAN FUCHSIA	5 GAL	3'–0" OC	L
	GREVILLEA 'SCARLET SPRITE'	GREVILLEA	5 GAL	4'–0" OC	L
	LOMANDRA LONGIFOLIA 'BREEZE'	DWARF MAT RUSH	1 GAL	3'–0" OC	L
	LOROPETALUM 'SUZANNE'	FRINGE FLOWER	5 GAL	4'–0" OC	L
	MUHLENBERGIA RIGENS	DEER GRASS	1 GAL	4'–0" OC	L
	PHORMIUM HYBRID	NEW ZEALAND FLAX	5 GAL	3'–0" OC	L
	PITTOSPORUM 'WHEELERS DWARF'	VARIEGATED MOCK ORANGE	5 GAL	4'–0" OC	L
	POLYSTICHUM MUNITUM	WESTERN SWORD FERN	1 GAL	3'–0" OC	M
SMALL SHRUBS, GRASSES, & PERENNIALS					
	ACHILLEA SP	YARROW	1 GAL	2'–0" OC	L
	ANIGOZANTHOS 'BUSH TANGO'	KANGAROO PAWS	5 GAL	2'–0" OC	L
	ASPIDISTRA ELATIOR	CAST IRON PLANT	1 GAL	2'–0" OC	L
	LIMONIUM PEREZII	SEA LAVENDER	1 GAL	3'–0" OC	L
	LIRIOPE 'SILVER DRAGON'	SILVERY LILYTURF	1 GAL	2'–0" OC	M
GROUNDCOVERS					
	ARCTOSTAPHYLOS UVA URSI 'GREEN SUPREME'	GREEN SUPREME MANZANITA	1 GAL	5'–0" OC	L
	CEANOTHUS GLORIOSUS 'ANCHOR BAY'	PT. REYES CEANOTHUS	1 GAL	5'–0" OC	L
	COPROSMA KIRKII 'VARIEGATA'	CREEPING MIRROR PLANT	1 GAL	4'–0" OC	L
	LANTANA MONTEVIDENSIS	PURPLE TRAILING LANTANA	1 GAL	8'–0" OC	
	SARCOCOCCA H. VAR HUMILIS	HIMILAYAN SWEET BOX	1 GAL	3'–0" OC	L
NATIVE SHRUBS AND GROUNDCOVER AT CREEK TRAIL					
	ACHILLEA SPP	YARROW	1 GAL	2'–0" OC	L
	ARCTOSTAPHYLOS SPP	MANZANITA	1 GAL	TBD	L
	CEANOTHUS SPP	CALIFORNIA LILAC	1 GAL	TBD	L
	MUHLENBERGIA RIGENS	DEER GRASS	1 GAL	3'–0" OC	L
	RHAMNUS CALIFORNICA	COFFEEBERRY	1 GAL	6'–0" OC	L
	EPILOBIUM CANUM	CALIFORNIA FUCHSIA	1 GAL	TBD	L
STORMWATER PLANTING MIX					
	CAREX DIVULSA	BERKELEY SEDGE	1 GAL	2'–0" OC	L
	CHONDROPETALUM TECTORUM	CAPE RUSH	3 GAL	3'–0" OC	L
	IRIS PACIFIC COAST HYBRIDS	PCH IRIS	1 GAL	2'–0" OC	L
	JUNCUS PATENS	CALIFORNIA GRAY RUSH	1 GAL	2'–0" OC	L
	SYSRINCHIUM BELLUM	BLUE–EYED GRASS	1 GAL	3'–0" OC	L
	DIETES SPP.	FORTNIGHT LILY	1 GAL	3'–0" OC	L

EXISTING TREE TO REMAIN

TREE TO BE REMOVED

GENERAL PLANTING & IRRIGATION NOTES

1. THESE PLANS SHALL COMPLY WITH THE CRITERIA OF THE CALIFORNIA MODEL WATER EFFICIENCY ORDINANCE AND APPLY THOSE CRITERIA FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.
2. CONTRACTOR TO PROVIDE AGRICULTURAL SOIL ANALYSIS DONE BY A QUALIFIED SOIL–TESTING LABORATORY.
3. ALL PLANTING AREAS SHALL BE TOP–DRESSED WITH A 3" LAYER OF ORGANIC, UN–DYED WALK–ON MULCH.
4. IRRIGATION SYSTEM IS TO BE A FULLY AUTOMATIC WEATHER–BASED SYSTEM USING LOW FLOW DRIP AND BUBBLER DISTRIBUTION.
5. 3:1 REPLACEMENT FOR ALL TREES REMOVED IN RIPARIAN CANOPY AREA

0 15' 30' 60'

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NO.	ISSUE	DATE

JOB NUMBER:	1744
DRAWN BY:	Author
CHECKED BY:	Checker
DATE:	01/27/2020
SCALE:	1" = 30'-0"

TITLE:

PRELIMINARY PLANTING PLAN

SHEET:

L3.1

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EXISTING TREE COUNTS		
SYMBOL	TYPE	COUNT
×	TREES TO BE REMOVED	80
●	TREES TO REMAIN	55
	TOTAL TREES ON SITE	135

NOTE:
ALL TREES TO BE REMOVED IN THE RIPARIAN CANOPY ASSOCIATED WITH SAN LORENZO CREEK SHALL HAVE 3:1 REPLACEMENT RATIO

0 15' 30' 60'

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JOB NUMBER:	1744
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DATE:	01/27/2020
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TITLE:

TREE PROTECTION & REMOVAL PLAN

SHEET:

L4.1

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TREE MITIGATION COUNTS

SYMBOL	TYPE	COUNT
	PROPOSED TREE, TYPICAL	96
	TREES TO REMAIN	54
	TOTAL PROPOSED & EXISTING TREES TO REMAIN ON SITE	150

NOTE:
ALL TREES TO BE REMOVED IN THE RIPARIAN CANOPY ASSOCIATED WITH SAN LORENZO CREEK SHALL HAVE 3:1 REPLACEMENT RATIO

0 15' 30' 60'

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NO.	ISSUE	DATE

JOB NUMBER:	1744
DRAWN BY:	Author
CHECKED BY:	Checker
DATE:	01/27/2020
SCALE:	1" = 30'-0"

TITLE:
TREE MITIGATION PLAN

SHEET:
L4.2

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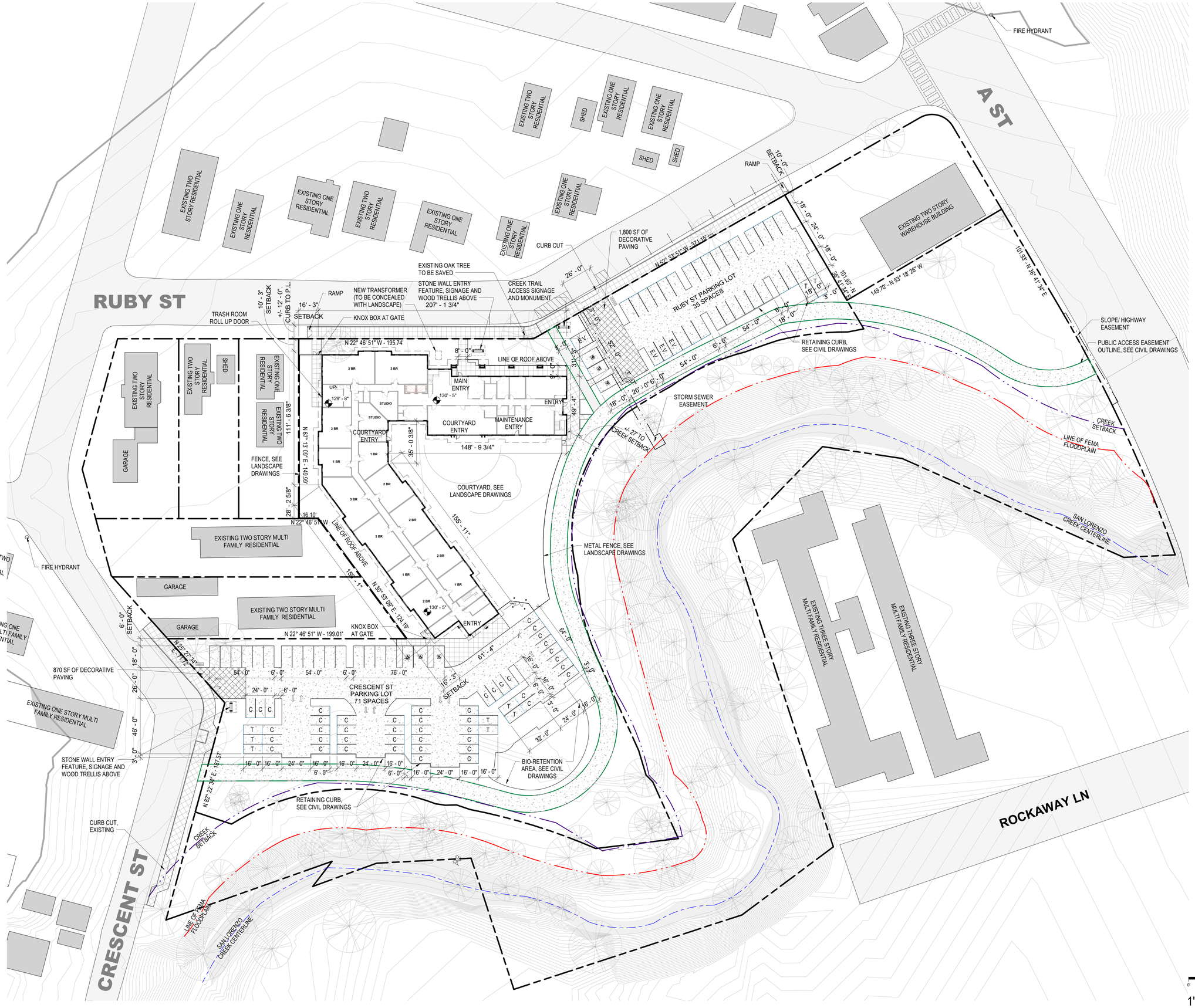

NOTES:

FIRE DEPARTMENT ACCESS KNOX BOXES WILL BE PROVIDED AT THE MAIN AND REAR ENTRY, AND AS DIRECTED BY THE FIRE DEPARTMENT

SHOWN LANDSCAPE PLAN IS CONCEPTUAL. REFER TO LANDSCPAE PLANS.

PROPOSED TREES AND OTHER LANDSCAPE ELEMENTS WILL BE ADJUSTED TO COMPLY FULLY WITH CBC SEC. 1030 EMERGENCY ESCAPE AND RESCUE FOR ALL SLEEPING ROOM WINDOWS BELOW THE FOURTH STORY.

UNIT COUNT BY FLOOR

Name	Count
Level 1	
1 BR	4
2 BR	5
3 BR	4
STUDIO	2
	15
Level 2	
1 BR	10
2 BR	5
3 BR	6
STUDIO	2
	23
Level 3	
1 BR	9
2 BR	6
3 BR	4
STUDIO	2
	21
Level 4	
1 BR	4
2 BR	2
3 BR	5
STUDIO	2
	13
Grand Total	72

DWELLING UNIT MIX

Unit Type	Count	Percentage
1 BR	27	38%
2 BR	18	25%
3 BR	19	26%
STUDIO	8	11%
Grand Total	72	100%

GROSS BUILDING AREA SCHEDULE

Level	Area
LEVEL 01	22381 SF
LEVEL 02	22868 SF
LEVEL 03	20916 SF
LEVEL 04	13752 SF
Grand Total	79917 SF

PARKING SCHEDULE

STALL TYPE	Count	Percentage
ACCESSIBLE	4	4%
ACCESSIBLE, VAN	2	2%
COMPACT	45	41%
COMPACT, TANDOM	7	6%
E.V.	3	3%
E.V., VAN	1	1%
STANDARD	45	41%
STANDARD, TANDOM	2	2%
Grand Total	109	100%

GROSS OPEN SPACE SCHEDULE

Level	Area
COURTYARD	14170 SF
LANDSCAPING	38027 SF
Grand Total	52197 SF

SITE PLAN KEY

- PROPERTY LINE
- FEMA FLOODPLAIN
- CREEK SETBACK
- PUBLIC ACCESS EASEMENT OUTLINE

0' 15' 30' 60'

1" = 30'

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DATE:	01/27/2020
SCALE:	1" = 30'-0"

TITLE:

SITE PLAN - GROUND FLOOR

SHEET:

A1.01

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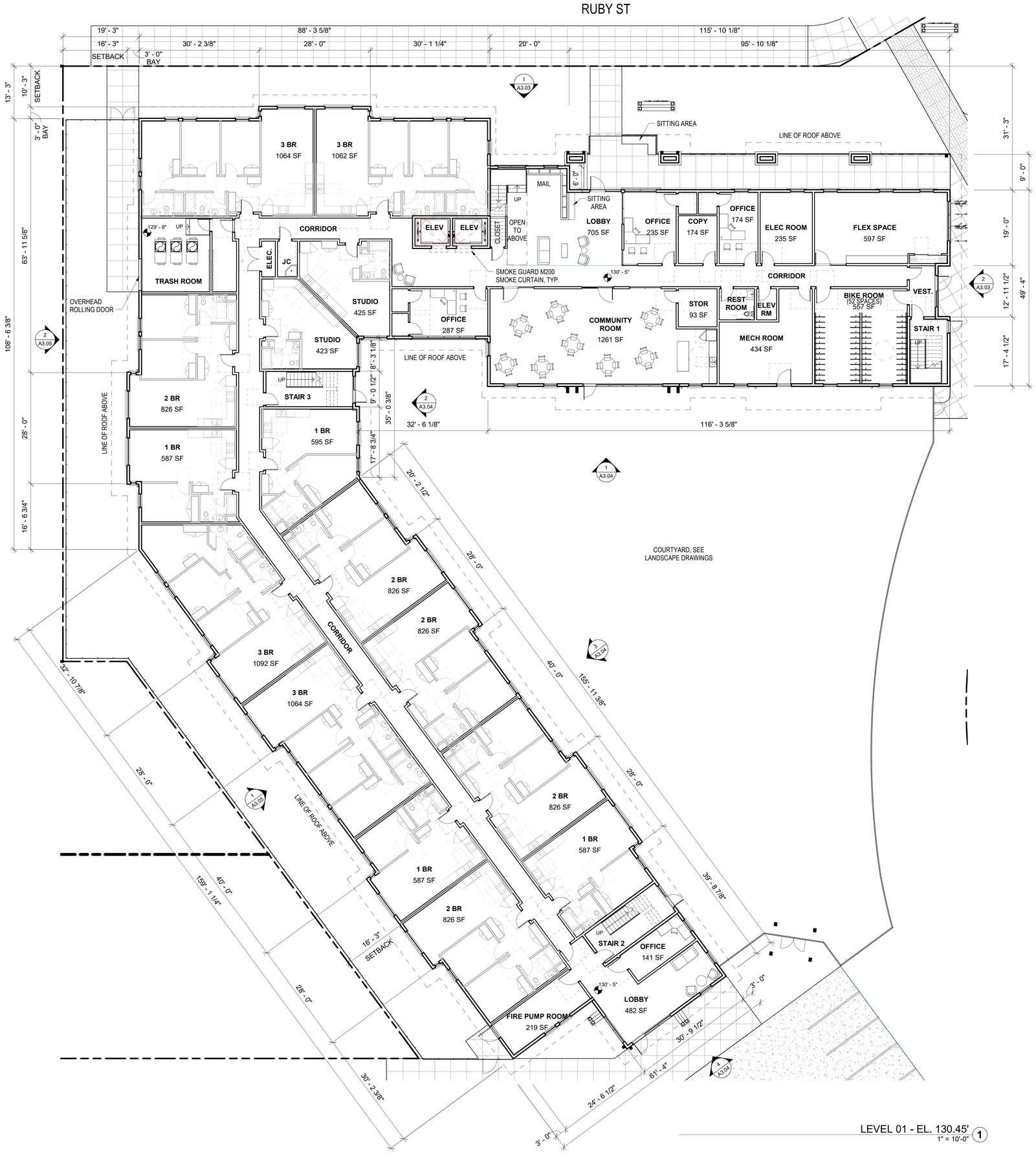
5/29/2020 12:58:57 PM



LEVEL 01 - EL. 130.45' (1)
1" = 10'-0"

NOTES:

FIRE DEPARTMENT ACCESS KNOX BOXES WILL BE PROVIDED AT THE MAIN AND REAR ENTRY, AND AS DIRECTED BY THE FIRE DEPARTMENT

SHOWN LANDSCAPE PLAN IS CONCEPTUAL. PROPOSED TREES AND OTHER LANDSCAPE ELEMENTS WILL BE ADJUSTED TO COMPLY FULLY WITH CBC SEC. 1030 EMERGENCY ESCAPE AND RESCUE FOR ALL SLEEPING ROOM WINDOWS BELOW THE FOURTH STORY

UNIT COUNT BY FLOOR

Name	Count
Level 1	
1 BR	4
2 BR	5
3 BR	4
STUDIO	2
	15
Level 2	
1 BR	10
2 BR	5
3 BR	6
STUDIO	2
	23
Level 3	
1 BR	9
2 BR	6
3 BR	4
STUDIO	2
	21
Level 4	
1 BR	4
2 BR	2
3 BR	5
STUDIO	2
	13
Grand Total	72

DWELLING UNIT MIX

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Grand Total	72	100%

GROSS BUILDING AREA SCHEDULE

Level	Area
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LEVEL 02	22868 SF
LEVEL 03	20916 SF
LEVEL 04	13752 SF
Grand Total	79917 SF

1" = 10'

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LEVLE 01 FLOOR PLAN

SHEET:

A2.01

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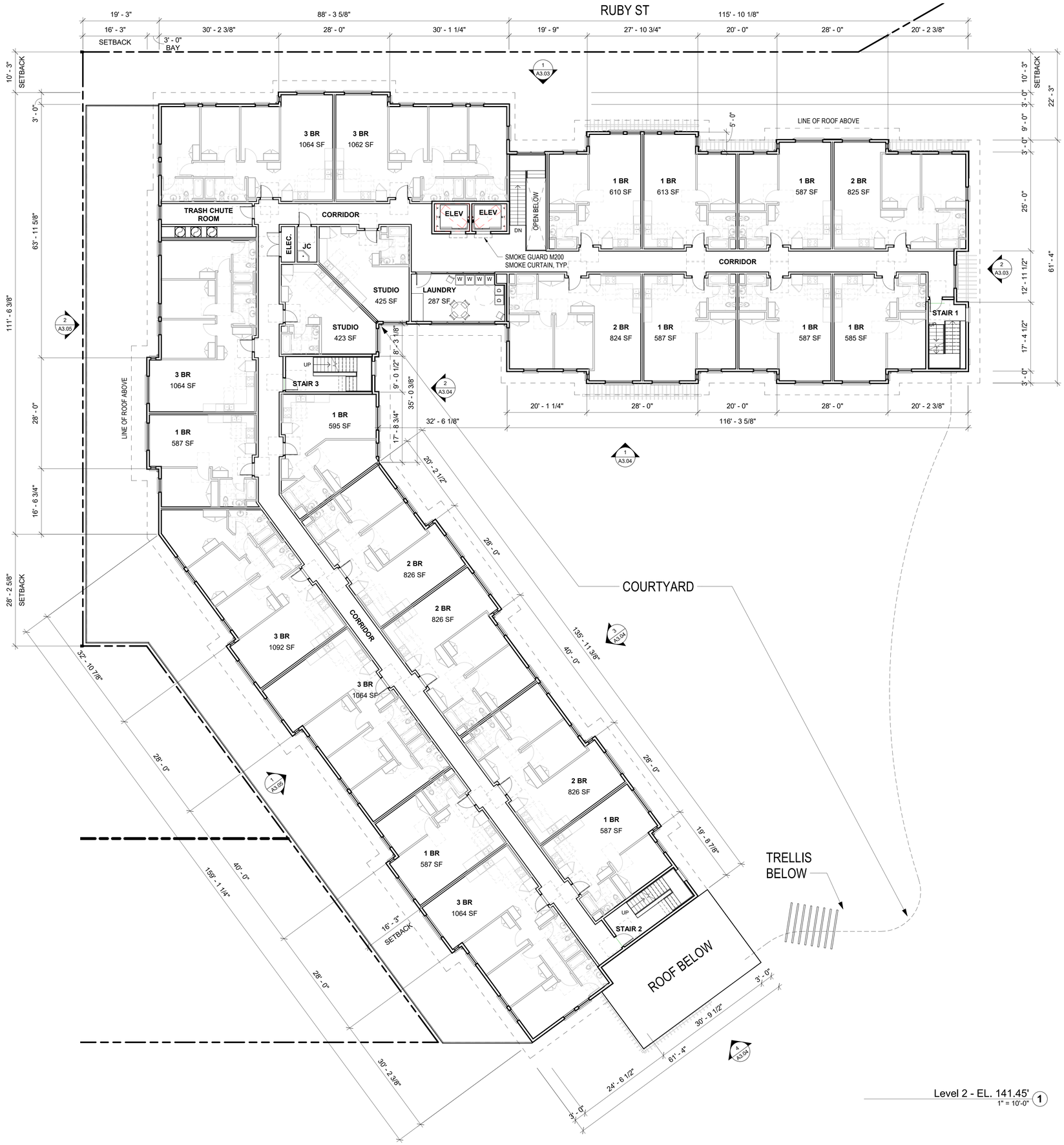

UNIT COUNT BY FLOOR	
Name	Count
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	15
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1 BR	4
2 BR	2
3 BR	5
STUDIO	2
	13
Grand Total	72

DWELLING UNIT MIX		
Unit Type	Count	Percentage
1 BR	27	38%
2 BR	18	25%
3 BR	19	26%
STUDIO	8	11%
Grand Total	72	100%

GROSS BUILDING AREA SCHEDULE	
Level	Area
LEVEL 01	22381 SF
LEVEL 02	22868 SF
LEVEL 03	20916 SF
LEVEL 04	13752 SF
Grand Total	79917 SF

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RUBY ST

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SCALE:	1" = 10'-0"

TITLE:

LEVEL 02 FLOOR PLAN

SHEET:

A2.02

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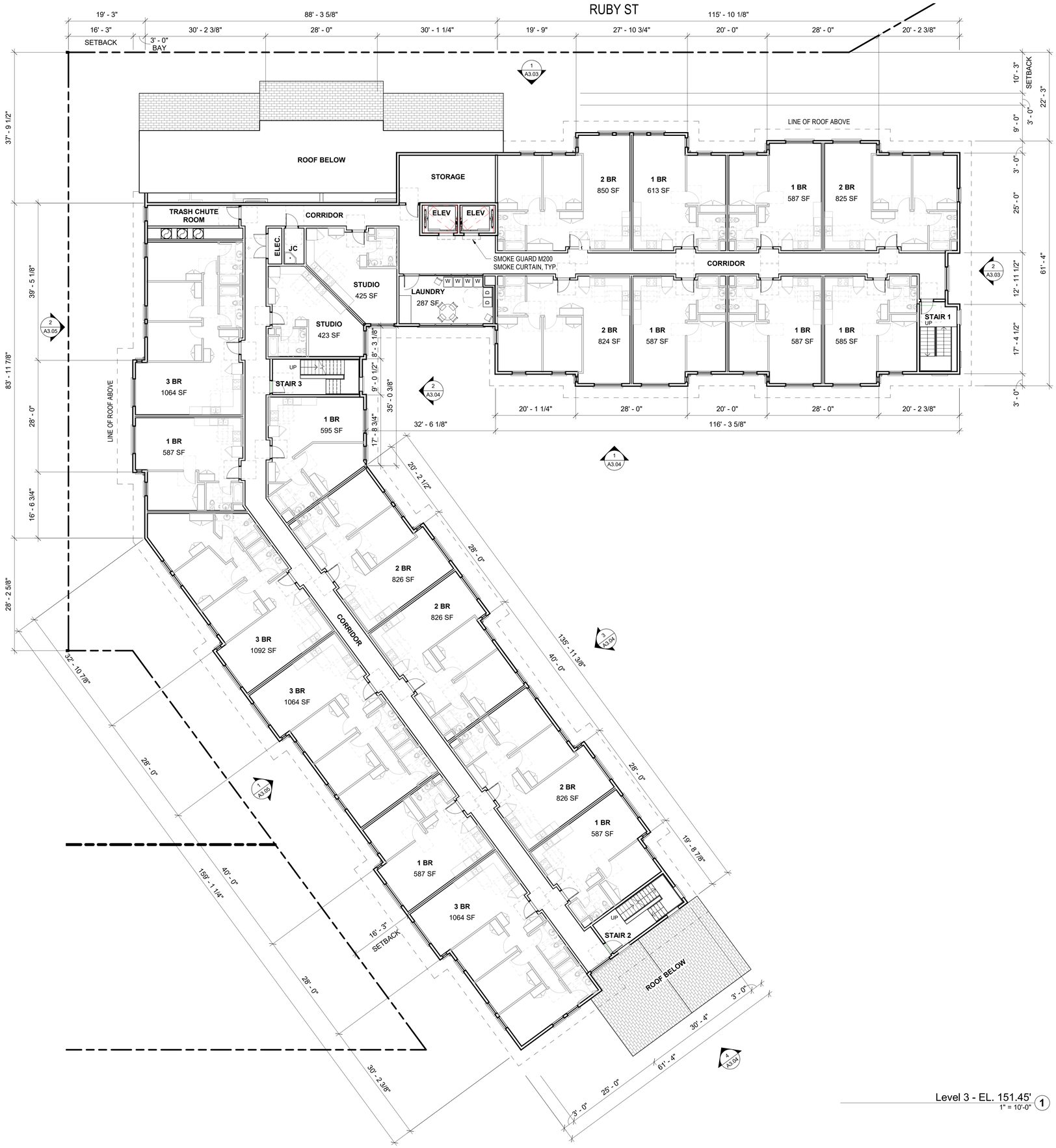

Level 3 - EL. 151.45' (1)
1" = 10'-0"

1" = 10'

UNIT COUNT BY FLOOR	
Name	Count
Level 1	
1 BR	4
2 BR	5
3 BR	4
STUDIO	2
	15
Level 2	
1 BR	10
2 BR	5
3 BR	6
STUDIO	2
	23
Level 3	
1 BR	9
2 BR	6
3 BR	4
STUDIO	2
	21
Level 4	
1 BR	4
2 BR	2
3 BR	5
STUDIO	2
	13
Grand Total	72

DWELLING UNIT MIX		
Unit Type	Count	Percentage
1 BR	27	38%
2 BR	18	25%
3 BR	19	26%
STUDIO	8	11%
Grand Total	72	100%

GROSS BUILDING AREA SCHEDULE	
Level	Area
LEVEL 01	22381 SF
LEVEL 02	22868 SF
LEVEL 03	20916 SF
LEVEL 04	13752 SF
Grand Total	79917 SF

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SCALE:	1" = 10'-0"

TITLE:
LEVEL 03 FLOOR PLAN

SHEET:
A2.03

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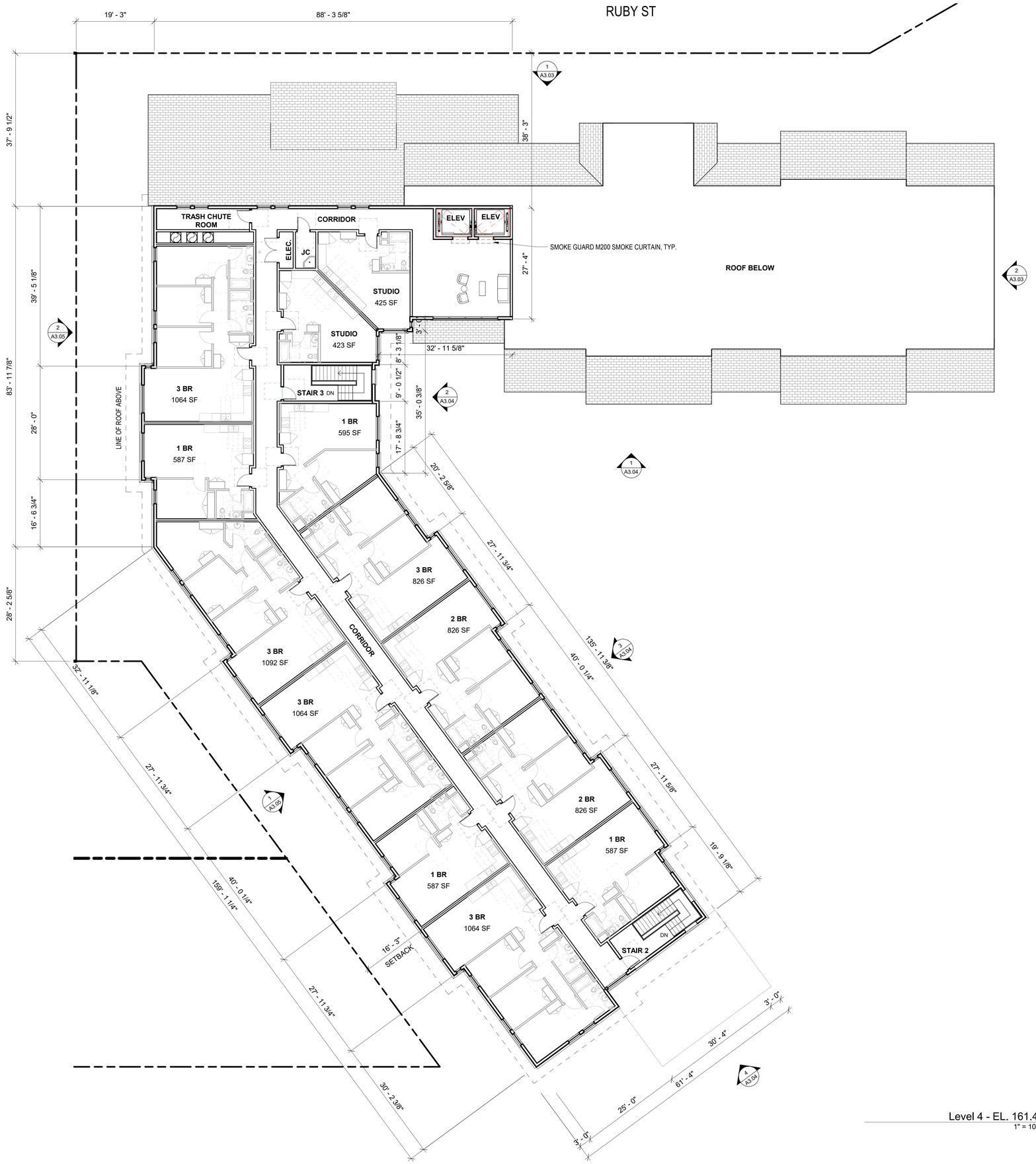

Level 4 - EL. 161.45' (1)
1" = 10'-0"

UNIT COUNT BY FLOOR	
Name	Count
Level 1	
1 BR	4
2 BR	5
3 BR	4
STUDIO	2
	15
Level 2	
1 BR	10
2 BR	5
3 BR	6
STUDIO	2
	23
Level 3	
1 BR	9
2 BR	6
3 BR	4
STUDIO	2
	21
Level 4	
1 BR	4
2 BR	2
3 BR	5
STUDIO	2
	13
Grand Total	72

DWELLING UNIT MIX		
Unit Type	Count	Percentage
1 BR	27	38%
2 BR	18	25%
3 BR	19	26%
STUDIO	8	11%
Grand Total	72	100%

GROSS BUILDING AREA SCHEDULE	
Level	Area
LEVEL 01	22381 SF
LEVEL 02	22868 SF
LEVEL 03	20916 SF
LEVEL 04	13752 SF
Grand Total	79917 SF

1" = 10'

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NO.	ISSUE	DATE

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SCALE:	1" = 10'-0"

TITLE:
LEVEL 04 FLOOR PLAN

SHEET:
A2.04

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ROOF 1
1" = 10'-0"

UNIT COUNT BY FLOOR	
Name	Count
Level 1	
1 BR	4
2 BR	5
3 BR	4
STUDIO	2
	15
Level 2	
1 BR	10
2 BR	5
3 BR	6
STUDIO	2
	23
Level 3	
1 BR	9
2 BR	6
3 BR	4
STUDIO	2
	21
Level 4	
1 BR	4
2 BR	2
3 BR	5
STUDIO	2
	13
Grand Total	72

DWELLING UNIT MIX		
Unit Type	Count	Percentage
1 BR	27	38%
2 BR	18	25%
3 BR	19	26%
STUDIO	8	11%
Grand Total	72	100%

GROSS BUILDING AREA SCHEDULE	
Level	Area
LEVEL 01	22381 SF
LEVEL 02	22868 SF
LEVEL 03	20916 SF
LEVEL 04	13752 SF
Grand Total	79917 SF

1" = 10'

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REVISION SCHEDULE

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JOB NUMBER:	1744
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DATE:	01/27/2020
SCALE:	1" = 10'-0"

TITLE:
ROOF PLAN

SHEET:
A2.05

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REAR COURTYARD VIEW

RUBY STREET FACADE VIEW

DIMENSIONAL COMPOSITION SHINGLES

GRAY

FIBER CEMENT BOARD SHINGLE

WEATHERED BROWN
DE C756

RIVER ROCKS
DE 6061

DESERT ROCK
DE 6066

VERTICAL CEMENT BOARD SIDING BOARD-AND-BATTEN

SPIRIT MOUNTAIN
DE 5795

VINYL WINDOW

DARK BRONZE

SILL

WANDERING ROAD
DE 6076

SILL / FASCIA

FRONTIER LAND
DE 6074

WOOD

CULTURED STONE VENEER

STUCCO BASE

BLUE MONDAY
DE T568

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NO.	ISSUE	DATE

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SCALE:	1/8" = 1'-0"

TITLE:
COLOR AND MATERIALS BOARD

SHEET:
A3.01

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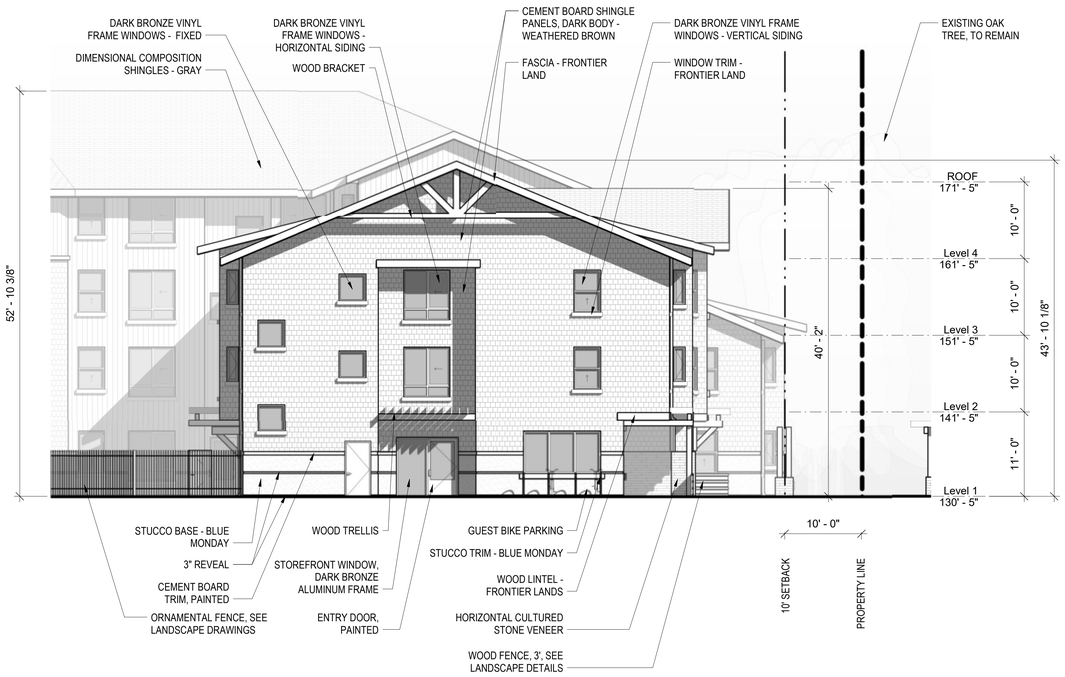
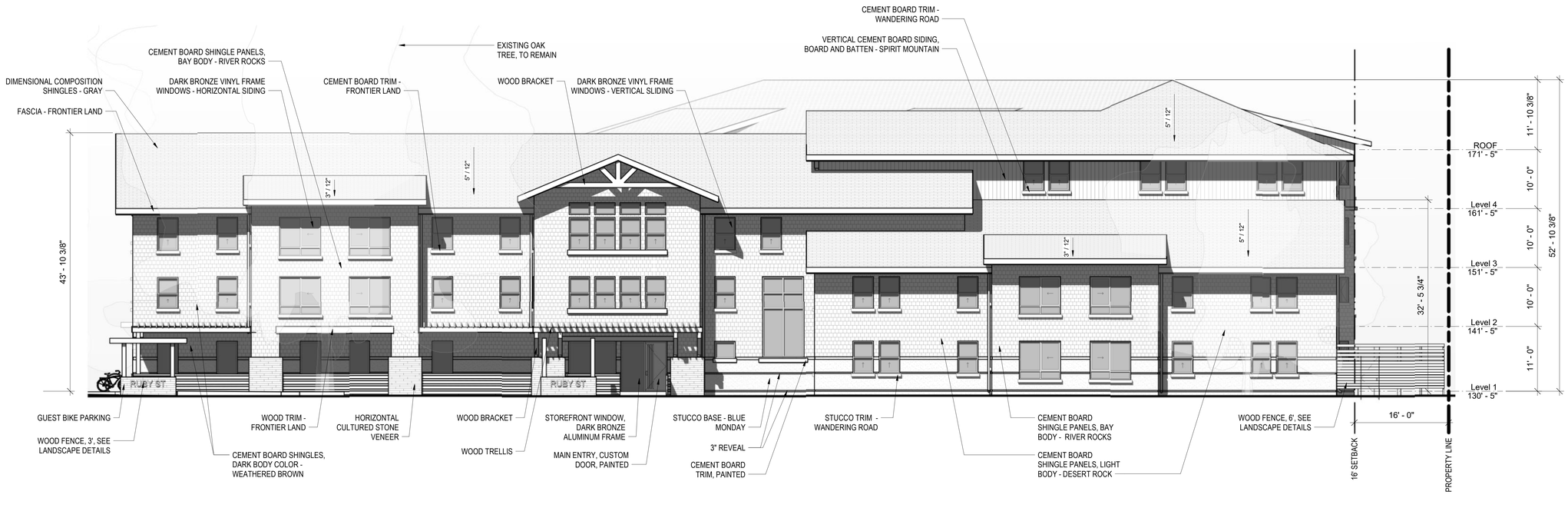


South Elevation_Ruby St Lot (2)
1/8" = 1'-0"



East Elevation_Ruby St (1)
1/8" = 1'-0"

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JOB NUMBER:	1744
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DATE:	01/27/2020
SCALE:	1/8" = 1'-0"

TITLE:
BUILDING ELEVATIONS

SHEET:
A3.03

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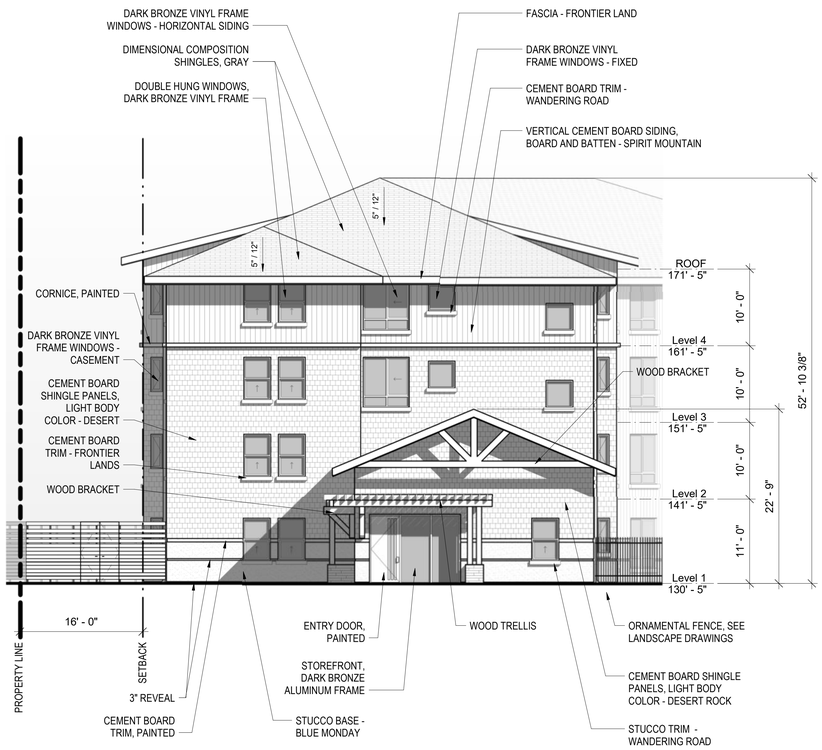
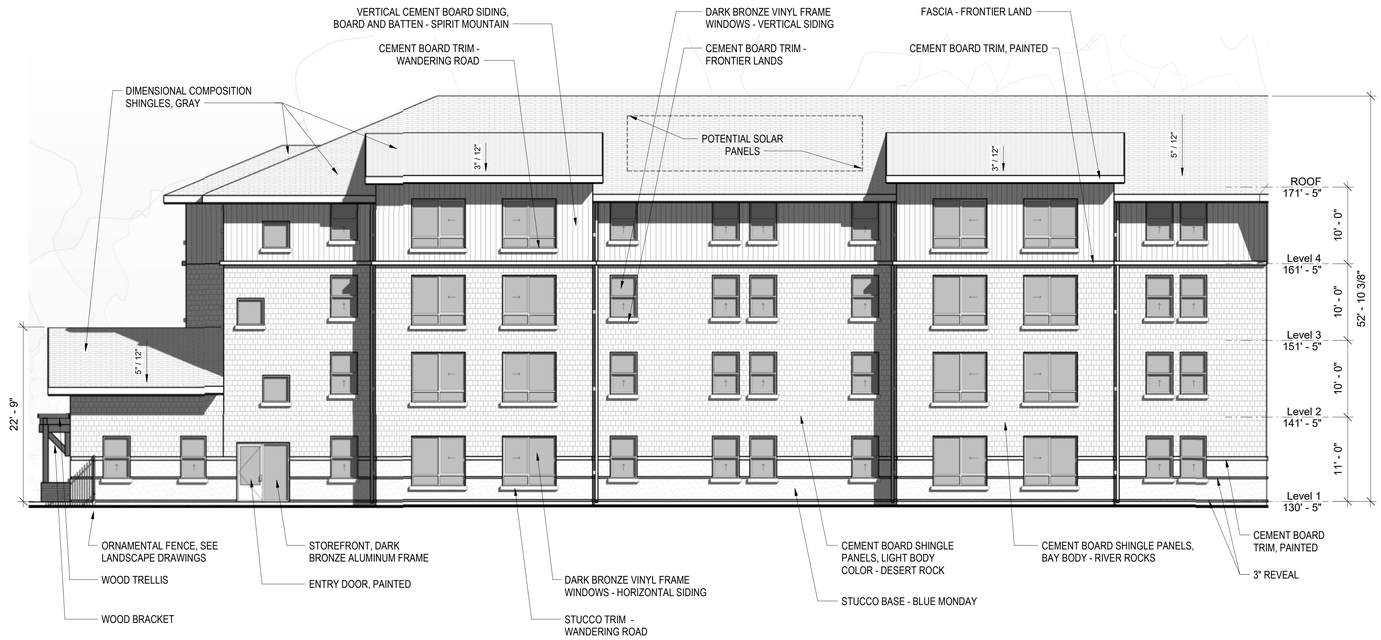
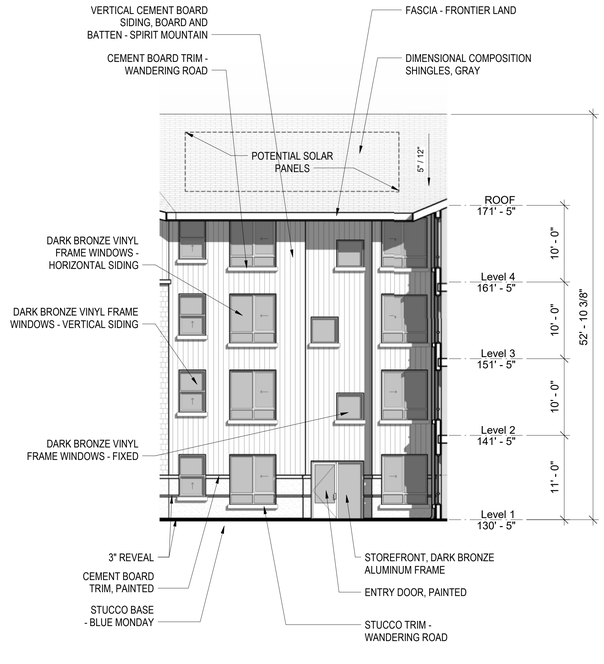


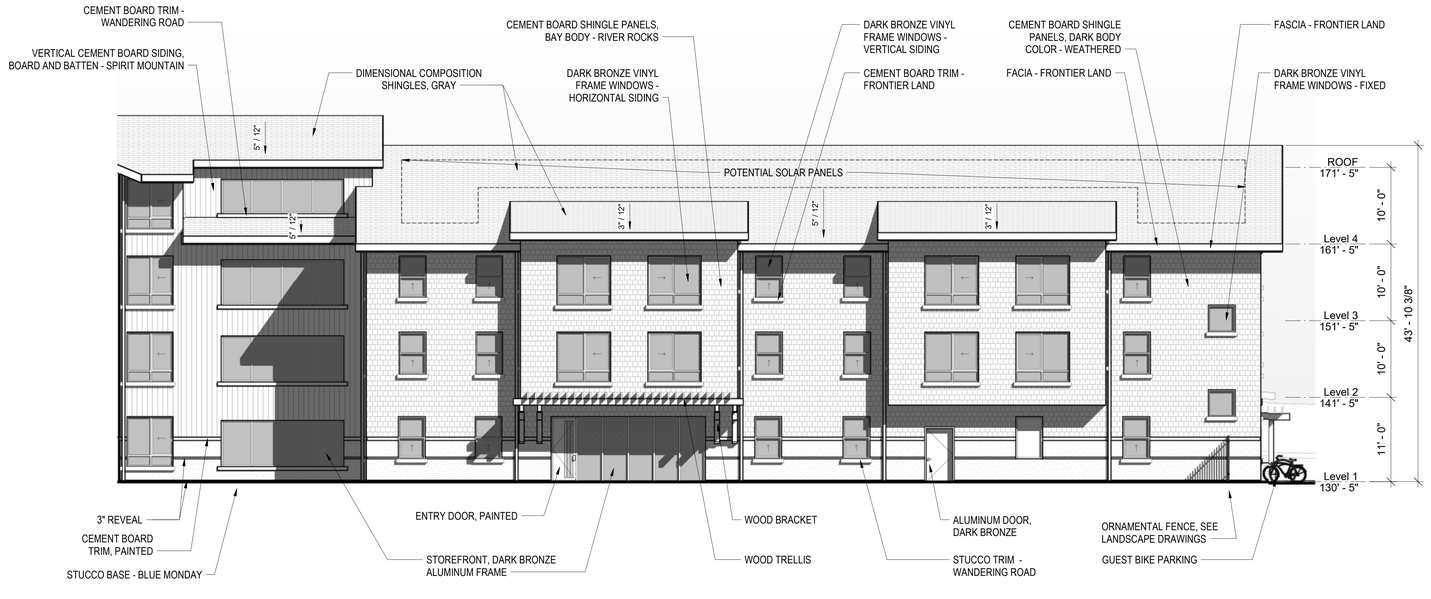
South West Elevation_Crescent St Lot (4)
1/8" = 1'-0"



South East Elevation_Courtyard (3)
1/8" = 1'-0"



South Elevation_Courtyard (2)
1/8" = 1'-0"



West Elevation_Courtyard (1)
1/8" = 1'-0"

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TITLE:
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SHEET:
A3.04

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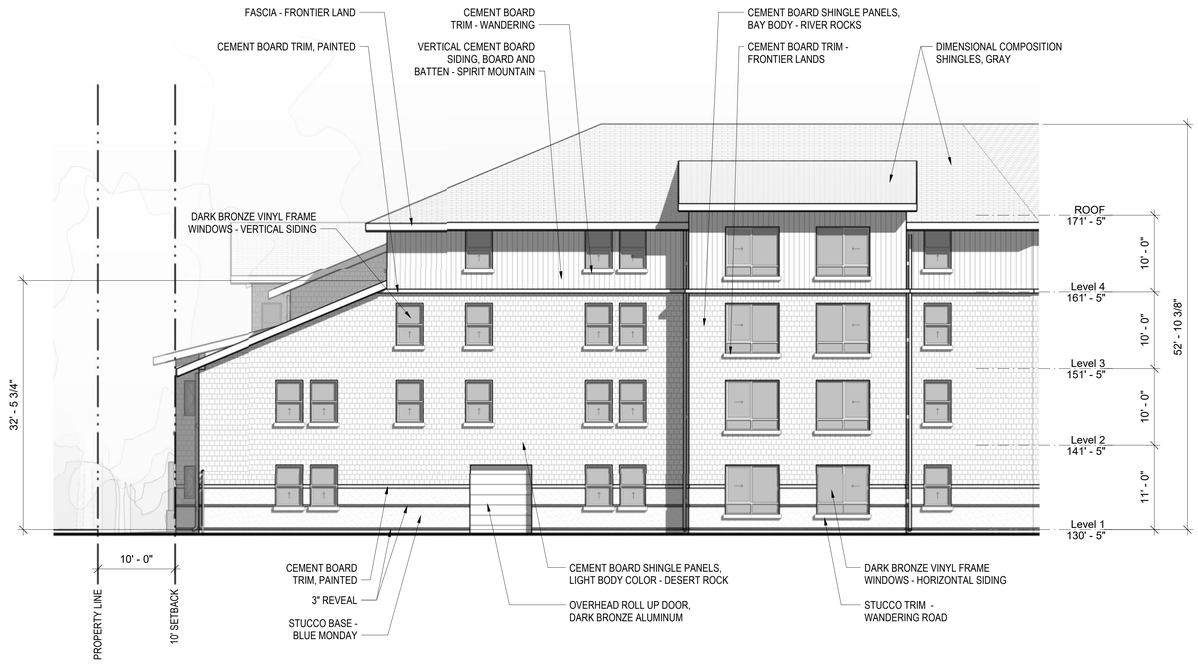
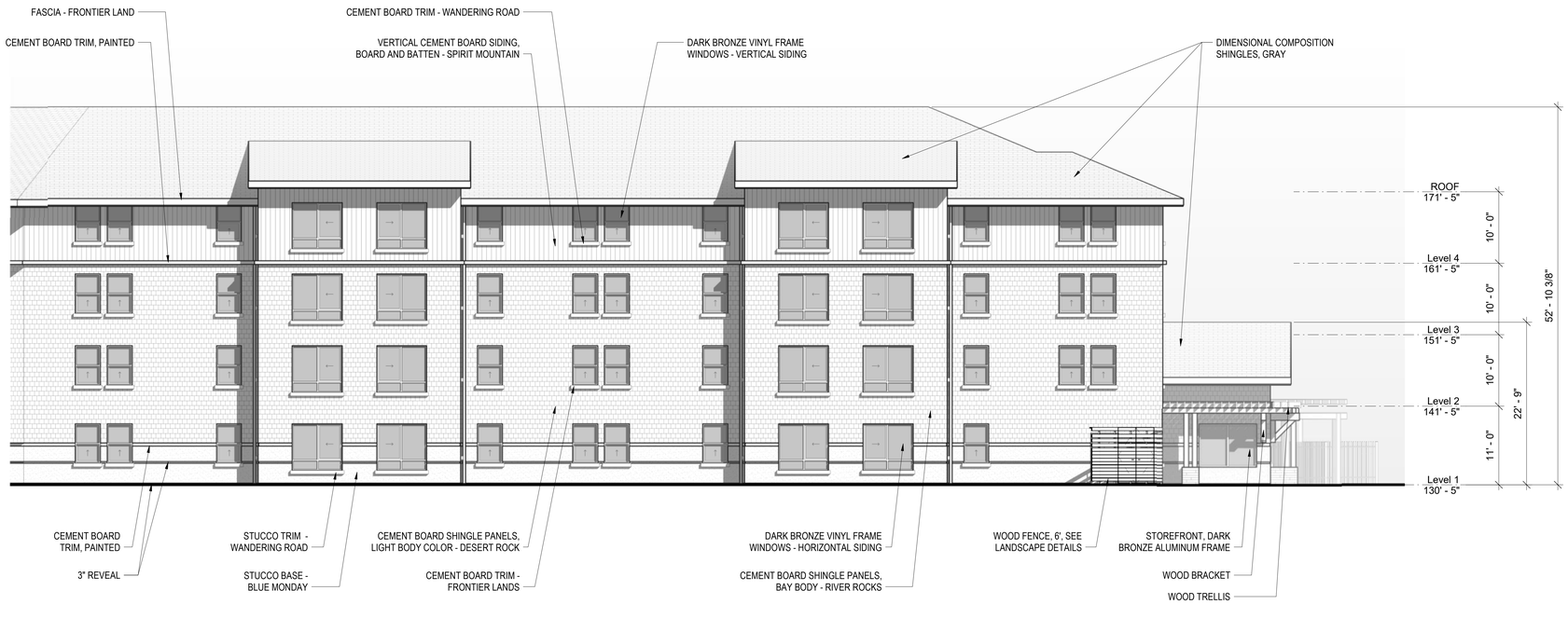


North Elevation_Interior Lot Line (2)
1/8" = 1'-0"



North West Elevation_Interior Lot Line (1)
1/8" = 1'-0"

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REVISION SCHEDULE

NO.	ISSUE	DATE

JOB NUMBER:	1744
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DATE:	01/27/2020
SCALE:	1/8" = 1'-0"

TITLE:
BUILDING ELEVATIONS

SHEET:
A3.05

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