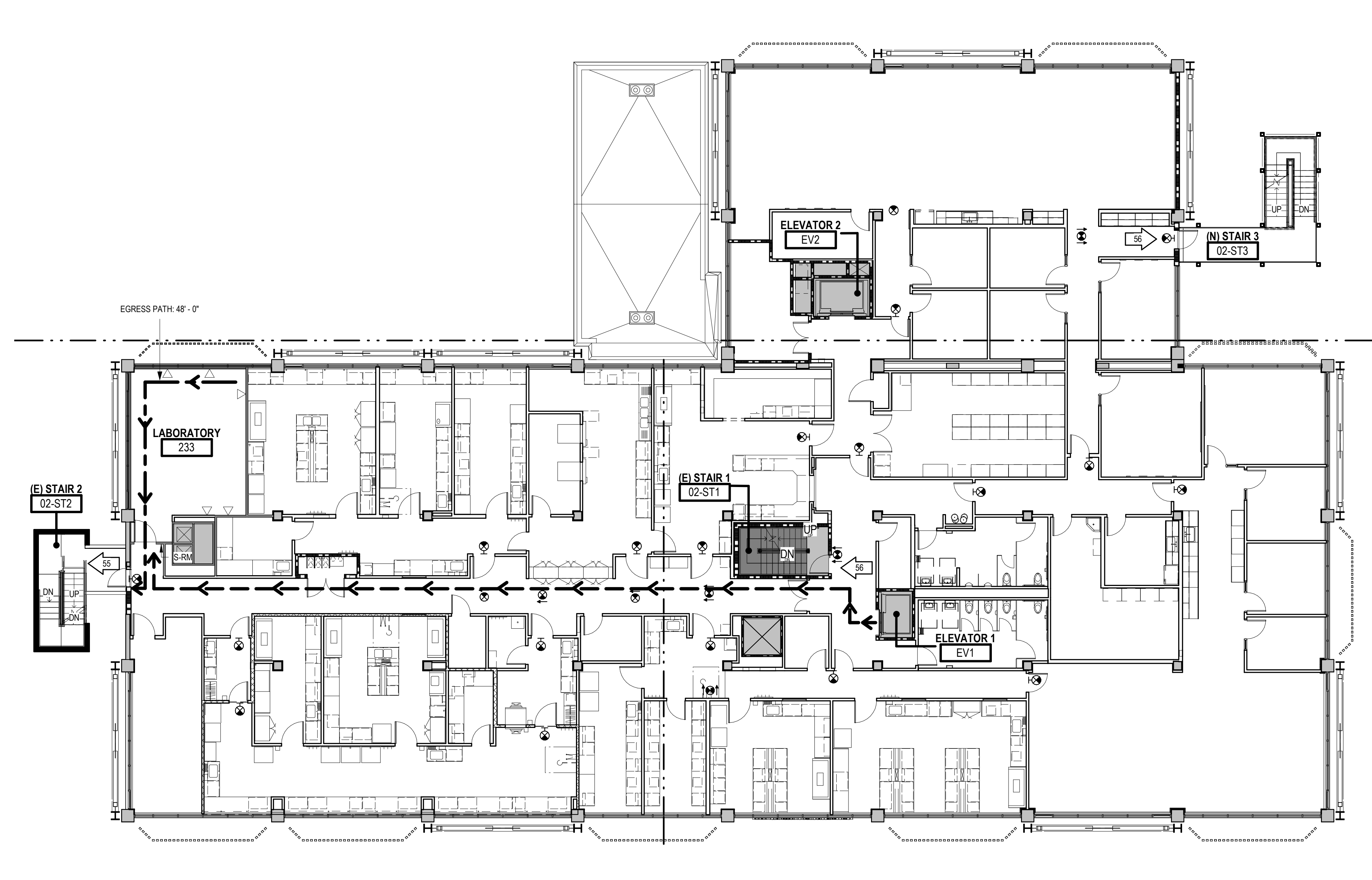
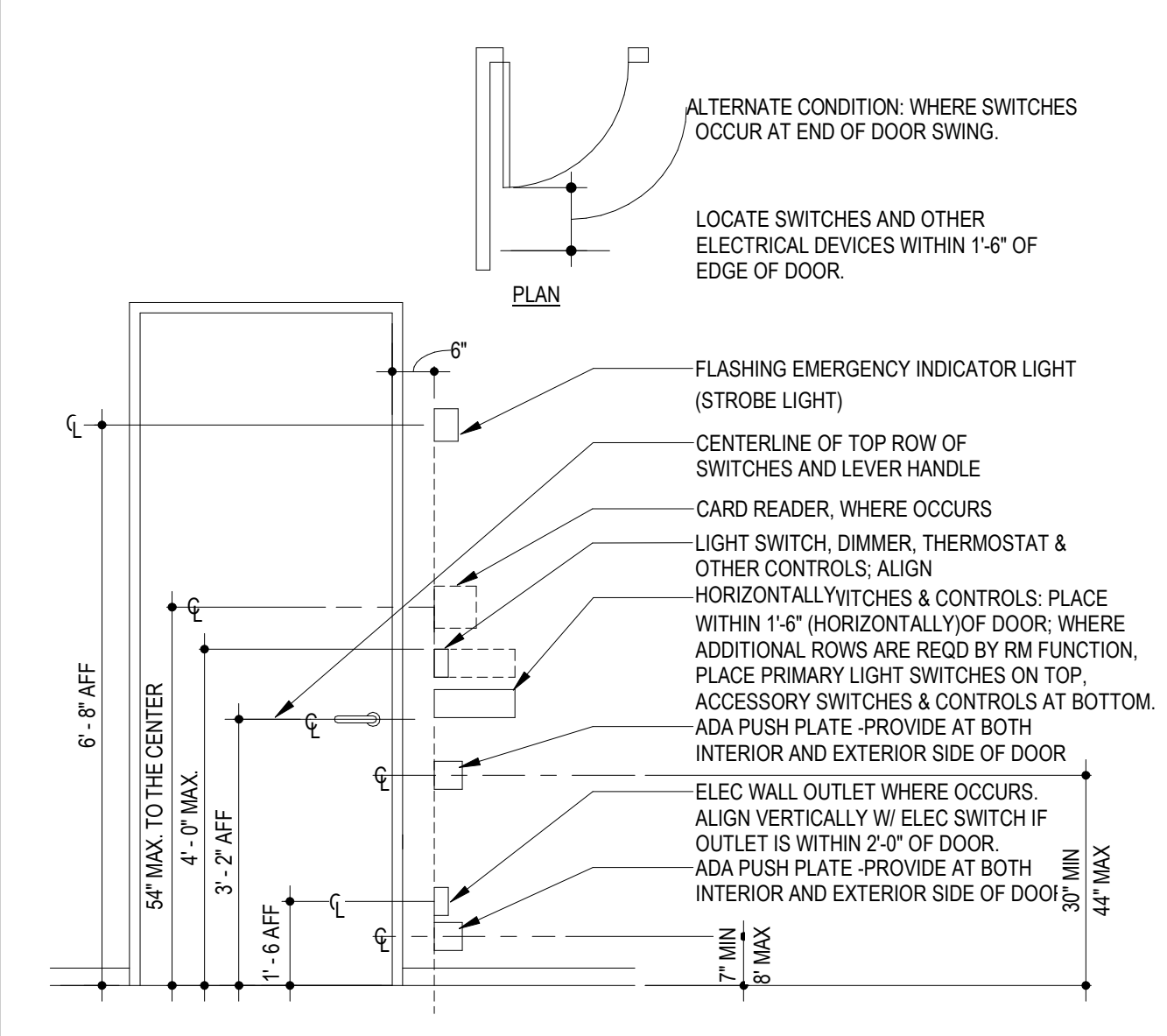


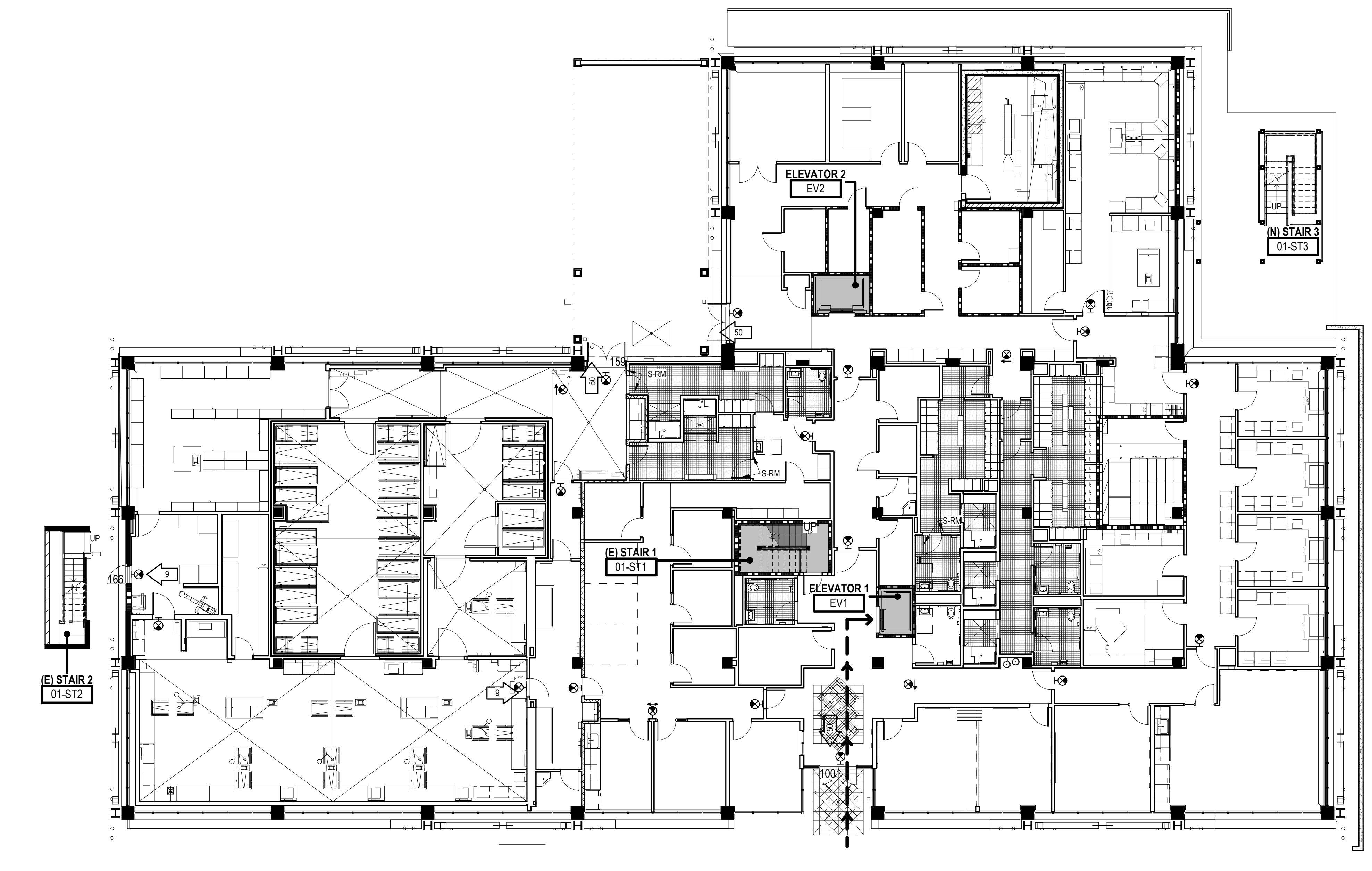
**PERMANENT RM ID SIGN N17**  
RE: J17 A-002 NTS



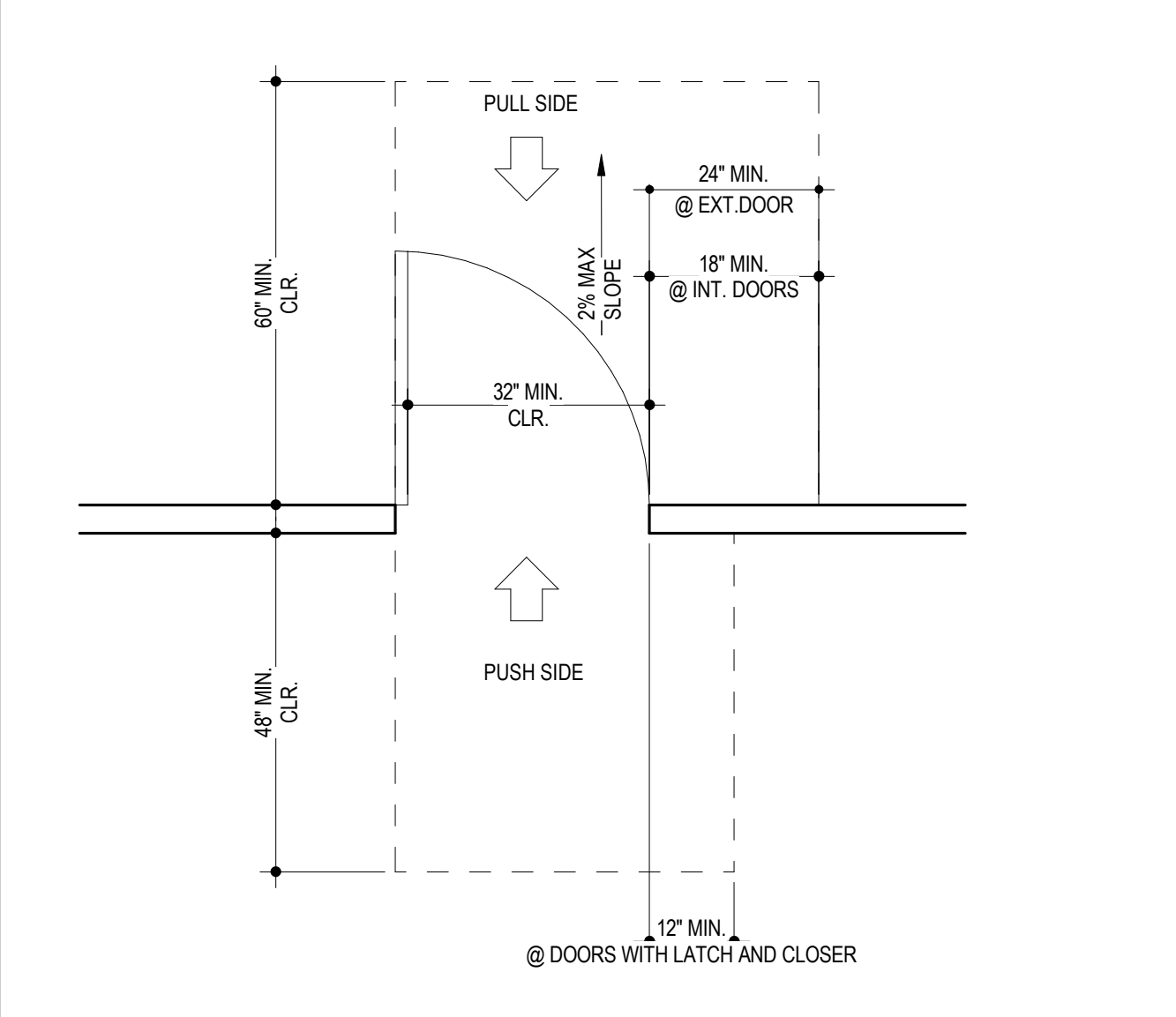
**SECOND FLOOR CODE DIAGRAM J5**  
3/32" = 1'-0"



**DEVICE PLATE LOCATIONS E17**  
NTS



**FIRST FLOOR CODE DIAGRAM A5**  
3/32" = 1'-0"



**LEVEL MANEUVERING CLEARANCE AT DOORS A17**  
NTS

**SELECTIVE DEMOLITION NOTES**

- BUILDING WILL REMAIN FULLY OCCUPIED DURING DEMOLITION AND CONSTRUCTION. COORDINATE WORK WITH LAB OCCUPANTS AND GSA TO MINIMIZE DISRUPTIONS TO OPERATIONS. ELECTRICAL PANEL SERVING THE AREA OF RENOVATION ALSO SERVES OTHER LAB SPACES THAT MUST MAINTAIN FULL POWER DURING CONSTRUCTION OF RENOVATION AREA. COORDINATE WITH BUILDING MAINTENANCE.
- NOT EVERY ITEM OF (E) WORK TO BE DEMOLISHED IS INDICATED ON THE DRAWINGS. DEMOLITION WORK INCLUDES REMOVAL OF (E) CONSTRUCTION TO THE EXTENT REQUIRED TO ACCOMMODATE (N) CONSTRUCTION WHERE INDICATED OR NOT.
- IF MATERIALS SUSPECTED OF CONTAINING HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT DISTURB. IMMEDIATELY NOTIFY CONSTRUCTION MANAGER OR OWNER'S PROJECT MANAGER. MATERIALS DETERMINED TO BE HAZARDOUS SHALL BE ABATED AND REMOVED BY GENERAL CONTRACTOR.
- CONDUCT A PRE-DEMOLITION MEETING AT PROJECT SITE BEFORE COMMENCING WIDEMOLITION. INSPECT & DISCUSS CONDITION OF CONSTRUCTION TO BE SELECTIVELY DEMOLISHED. REVIEW DEMOLITION METHODS & PROCEDURES. REVIEW PROTECTION MEASURES FOR (E) CONSTRUCTION & BUILDING OCCUPANTS. REPORT UNRESOLVED ISSUES OR CONFLICTS TO ARCHITECT.
- SUBMIT DEMOLITION SCHEDULE TO PROJECT MANAGER FOR COORDINATION OF DEMO & REMOVAL OPERATIONS. COMPLY WITH CITY REQUIREMENTS FOR USING & PROTECTING ACCESS, HALLWAYS, ELEVATORS, STAIRS DURING DEMOLITION OPERATIONS.
- ERECT & MAINTAIN TEMPORARY PROTECTIONS, INCLUDING BRACING, BARRICADES, SIGNS & OTHER MEASURES AS REQUIRED BY CODES & REGULATIONS BETWEEN AREA OF REMODEL AND ADJACENT OCCUPIED SPACES. ERECT AND MAINTAIN DUSTPROOF PARTITIONS & TEMPORARY ENCLOSURES TO LIMIT DUST & DIRT MIGRATION & TO SEPARATE AREAS FROM FUMES AND NOISE. PROTECT WALLS, CEILINGS, FLOOR & OTHER (E) FINISHED WORK TO REMAIN.
- THE ADJACENT SPACES WILL BE OCCUPIED DURING DEMOLITION. CONDUCT DEMOLITION SO THAT OCCUPANTS OPERATIONS WILL NOT BE DISRUPTED. PROVIDE NOT LESS THAN 72 HOURS NOTICE TO COUNTY PROJECT MANAGER OF ACTIVITIES THAT WILL AFFECT LAB USER OPERATIONS. MAINTAIN ACCESS TO (E) WALKWAYS, CORRIDORS, ENTRY ACCESS. DO NOT CLOSE OR OBSTRUCT WALKWAYS, HALLWAYS OR OTHER OCCUPIED FACILITIES WITHOUT WRITTEN PERMISSION FROM AUTHORITIES HAVING JURISDICTION. MAINTAIN FIRE PROTECTION AND BUILDING SECURITY IN AREA OF DEMOLITION AND OTHER WORK THROUGHOUT CONSTRUCTION.
- MAINTAIN (E) UTILITIES INDICATED TO REMAIN IN SERVICE & PROTECT AGAINST DAMAGE. DO NOT REMOVE UTILITY LINES SERVING OTHER PARTS OF THE BUILDING UNTIL IN REPLACEMENT LINES ARE INSTALLED BY GENERAL CONTRACTOR. REMOVE & CAP UTILITIES CONCEALED BY (N) FINISHED SURFACES WHERE FIXTURES ARE DEMOLISHED. COORDINATE WITH OWNER.
- MAINTAIN ELECTRICAL, TELECOM, PLUMBING AND HVAC SERVICE TO OTHER PARTS OF THE BUILDING DURING DEMOLITION AND CONSTRUCTION. GENERAL CONTRACTOR SHALL PROVIDE TEMPORARY SERVICES IF NECESSARY.
- EXISTING SLAB IN SPACE SHALL BE PREPARED, INCLUDING GRINDING DOWN HIGH SPOTS, FILLING SPALLS OR DIVOTS, LEVELING COMPOUND OR OTHER MATERIALS NECESSARY TO INSTALL NEW FLOORING. DO NOT ALLOW DEMOLISHED MATERIALS TO ACCUMULATE ON SITE. STORAGE OR SALE OF REMOVED ITEMS ON SITE IS NOT PERMITTED. DO NOT SOIL ADJACENT SURFACES OR OTHER BUILDING AREAS. LEGALLY DISPOSE OF REMOVED ITEMS.
- UNION PROVIDE BLANK COVERPLATES AT DEVICES SHOWN AS BEING CAPPED.
- COORDINATE LOCATION AND TIE-INS WITH NEW PLUMBING WORK.
- REMOVE OR MODIFY (E) VENTILATION DUCTING FOR HVAC VENTILATION AS REQUIRED. SEE MECHANICAL NOTES. ALL NEW MECHANICAL WORK TO FIT ABOVE NEW SUSPENDED ACOUSTIC CEILING. PROVIDE FIRE PROOFING AT ALL PENETRATIONS LEAVING SPACE.
- DO NOT DEMOLISH STRUCTURAL WALLS, BRACING OR ELEMENTS. REPORT UNKNOWN/UNFORESEEN STRUCTURAL ELEMENTS TO COUNTY PROJECT MANAGER FOR REVIEW PRIOR TO WORK.
- DO NOT DEMOLISH UTILITIES PASSING THROUGH AREA OF REMODEL SERVING AN ADJACENT SPACE TO REMAIN. VERIFY WITH PROJECT MANAGER BEFORE PROCEEDING.
- REMOVE INTERIOR GYPSUM BOARD AT EXTERIOR WALLS IN AREA OF REMODEL AS NECESSARY TO INSTALL (N) ELECTRICAL WORK. TYP. SEE ADDITIONAL NOTES ON EXISTING PLAN, SHEET A-120.

**SHEET NOTES**

- THE DETAILS AND TYPICAL MOUNTING HEIGHTS SHOWN ON THIS PAGE APPLY TO ALL INSTANCES ON THE PROJECT. SHOULD THE DRAWINGS OR SPECIFICATIONS BE IN CONFLICT, THE CONTRACTOR IS TO NOTIFY THE ARCHITECT IN WRITING PRIOR TO INSTALLING.

**LEGEND**

- OCCUPANT LOAD (B OCCUPANCY LOAD FACTOR = 100 SF/PERSON/GROSS)
- PATH OF EGRESS
- ACCESSIBLE ROUTE
- CEILING MOUNTED ILLUMINATED EXIT SIGN
- CEILING MOUNTED ILLUMINATED DIRECTIONAL EXIT SIGN
- DOUBLE SIDED CEILING MOUNTED ILLUMINATED DIRECTIONAL EXIT SIGN
- WALL MOUNTED ILLUMINATED EXIT SIGN
- WALL MOUNTED ILLUMINATED DIRECTIONAL EXIT SIGN
- S-RM - ROOM IDENTIFICATION SIGN

**GENERAL NOTES - NEW WORK**

- PURPOSE OF THESE DRAWINGS ARE TO CONVEY THE ARCHITECTURAL DESIGN INTENT. ALL STRUCTURAL, ELECTRICAL, TELECOM, MECHANICAL, PLUMBING, FIRE ALARM AND FIRE SUPPRESSION SYSTEM WORK IS DESIGN/BUILD DEFERRED APPROVALS. COORDINATE WITH ALAMEDA COUNTY GSA IF ANY PERMITTING, SPECIAL INSPECTIONS OR FIRE MARSHAL REVIEW IS NECESSARY.
- UNION INSTALL NEW PARTITIONS PARALLEL TO THE EXISTING BUILDING FABRIC AS NOTED.
- WHERE THE FACE OF AN (E) PARTITION MEETS FLUSH VIA NEW PARTITION, REMOVE THE (E) CORNER BEAD BEFORE INSTALLING THE NEW PARTITION. UNION, TAPE & SAND SMOOTH WITHOUT ANY VISIBLE JOINTS. PATCH & REPAIR SURFACES TO MATCH ADJACENT OR ADJOINING SURFACES. TYP.
- CONTRACTOR SHALL NOTIFY THE COUNTY PROJECT MANAGER A MINIMUM OF (3) DAYS BEFORE CLOSING WALLS SO THAT REVIEW AS REQUIRED BY INSPECTOR(S) MAY TAKE PLACE.
- CUT & FIT COMPONENTS AS REQUIRED TO ALTER (E) WORK FOR INSTALLATION OF (N) WORK. PATCH DAMAGED AREAS TO MATCH ADJACENT MATERIALS & FINISHES.
- PATCH & REPAIR EXISTING PARTITION SURFACES AND FRAMING AS REQUIRED FOR A SMOOTH FINISHED LOOK.
- VERIFY DIMENSIONS SHOWN W/ FIELD MEASUREMENTS. CHECK LEVELS & LINES INDICATED BEFORE COMMENCING WITH WORK. COUNTY PROJECT MANAGER SHOULD BE NOTIFIED OF ANY DISCREPANCIES FOR ADJUSTMENT OR CORRECTION. WORK SHALL PROCEED ONLY AFTER THE DISCREPANCY HAS BEEN RESOLVED.
- WHERE CONFLICTS OCCUR BETWEEN PLANS AND AS-BUILT CONDITIONS, THE CONTRACTOR SHALL COORDINATE THE LAYOUT & EXACT LOCATION OF (N) PARTITIONS, CEILINGS, SOFFITS, WINDOW SHADES, ELECTRICAL AND DATA OUTLETS, SWITCHES, DIFFUSERS, LIGHTING, PLUMBING, FIRE SPRINKLERS, FIRE ALARMS, ETC. WITH THE COUNTY PROJECT MANAGER AND OTHER PARTIES IN THE FIELD BEFORE PROCEEDING WITH CONSTRUCTION.
- COORDINATE LOCATIONS OF MECHANICAL, ELECTRICAL, LIGHTING, PLUMBING EQUIPMENT INCLUDING PIPING, DUCTWORK & CONDUIT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION TO ASSURE THAT REQUIRED CLEARANCES FOR INSTALLATION & MAINTENANCE OF THE ABOVE EQUIPMENT IS PROVIDED AS WELL AS CODE ACCESSIBILITY CLEARANCES.
- BRACE NEW PARTITIONS, CEILING SYSTEMS, PER STATE & LOCAL SEISMIC CODES. IF (E) COMPONENTS ARE NOT BRACED PER LATEST CODE REQUIREMENTS, CONTRACTOR SHALL BE RESPONSIBLE FOR SUCH REPAIR WORK AS REQUIRED IN AREA OF RENOVATION.
- RELOCATE (INTERCEPT AND/OR EXTEND AS REQUIRED) ANY CONCEALED CONDUIT, PIPES, DUCTS, ETC. WHICH ARE TO REMAIN IN USE THAT HAVE BEEN EXPOSED BY DEMOLITION, AND CONCEAL WITHIN NEAREST NEW PARTITION OR CEILING.
- PATCH AND REPAIR CONCRETE SLAB WHERE PARTITIONS, PLUMBING PIPES, OR OTHER ITEMS HAVE BEEN REMOVED.
- PATCH AND REPAIR WALLS, EQUIPMENT ARE REMOVED OR ALTERED IN AREA OF REMODEL.
- ALL LOOSE FURNITURE, EQUIPMENT AND APPLIANCES, FURNISHED BY OWNER.

NOTE: If this drawing is not 30"x42", it has been revised from its original size and the scales noted on drawing/details are no longer applicable.

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NO.	DATE	ISSUE DESCRIPTION
1	1/01/2023	CONSTRUCTION DOCUMENTS

**PERALTA OAKS RM 233  
TENANT IMPROVEMENT  
PROJECT**

2901 PERALTA OAKS COURT  
OAKLAND, CALIFORNIA 94605

Drawing Title  
**CODE DIAGRAMS,  
DETAILS AND NOTES**

Drawing No.  
**A-002**

SKA Project Number 21709 Alameda County Project No. 20203



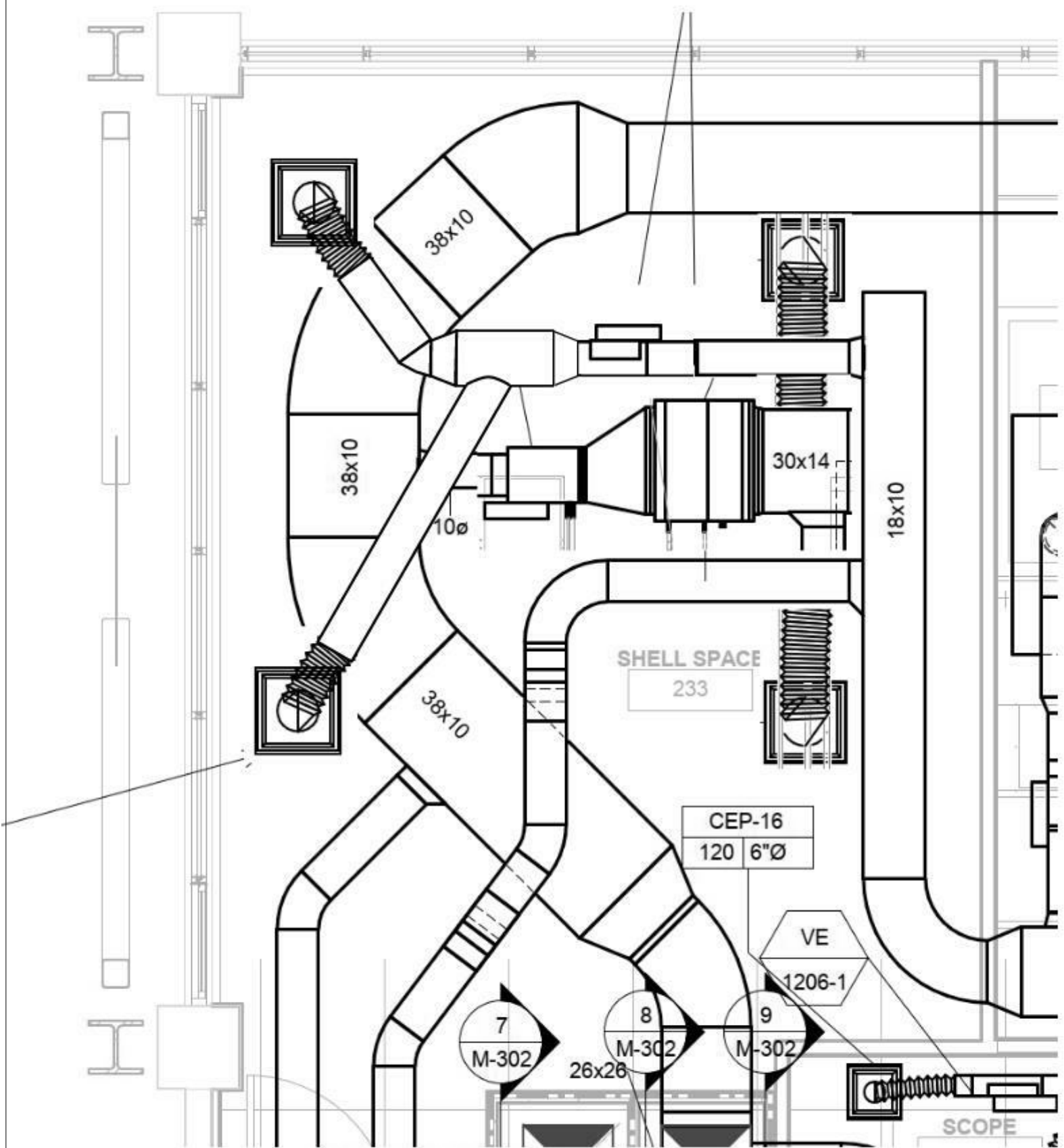


Figure 2: Possible Terminal and Diffuser Layout

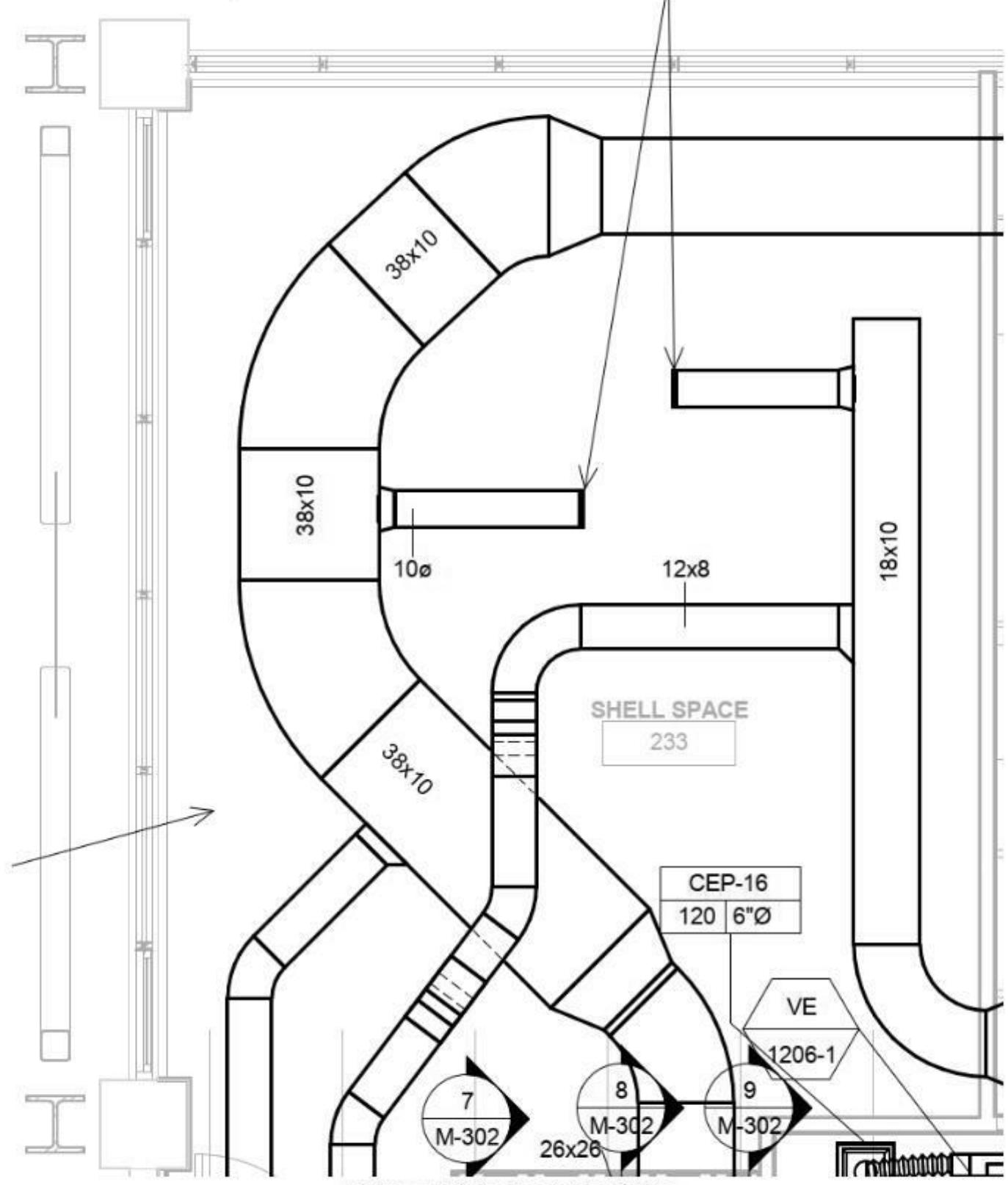


Figure 3: Existing Room Condition

**HVAC BASIS OF DESIGN**

1. **ZONE TERMINALS**
  - ADD ZONE TERMINALS AS FOLLOWS:
  - SUPPLY TERMINAL VR-1215 AS SHOWN ON M-006 IN RECORD SET. PRICE SDV, 10' NECK, 840 CFM SUPPLY MAX, 320 CFM MIN. SLOW ACTING ACTUATOR, FAIL IN LAST KNOWN POSITION, 2-ROW REHEAT COIL TO HEAT 840 CFM FROM 59°F TO 76.8°F (24.3 KBTUH)
  - EXHAUST TERMINAL VE-1216, PRICE RDV, 10' NECK, 890 CFM EXHAUST MAX, 370 CFM MIN. SLOW ACTING ACTUATOR, FAIL IN LAST KNOWN POSITION
  - SUPPLY COOLING COIL, TYPE B FROM SCHEDULE ON M-004 IN RECORD SET; DYNAMIC AIR TECHNOLOGY INC. 12W11 25X28-10-B-W-H-R, 11.25' H X 28' L, AL/CU FIN/TUBES, EAT 80/167 DBWB L AT 53.8/53.2' DBWB, EXT 42°F, 8 ROWS 10 FPI.
2. **TERMINAL INSTALLATION**
  - CONNECT SUPPLY TERMINAL ON (E) CAPPED SUPPLY STUB SHOWN ON M-122C IN RECORD SET. SHORTEN STUB IF REQUIRED TO FIT TERMINAL. SEE EXISTING CONDITION OF ROOM 233 IN PHOTO BELOW COMMENTS AND FIGURE 2 FOR POSSIBLE TERMINAL AND DUCT LAYOUT.
  - CONNECT EXHAUST TERMINAL TO EXISTING CAPPED EXHAUST STUB.
  - COORDINATE EXACT HEIGHTS AND CLEARANCES TO FIT WITHIN CEILING SPACE
3. **AIR DISTRIBUTION**
  - PROVIDE (2) SUPPLY DIFFUSERS WITH 14' FLEX CONNECTIONS TO 30X14 SUPPLY PLENUM OFF COOLING COIL. PROVIDE VOLUME DAMPER AT CONNECTION TO PLENUM. PROVIDE (2) CSP-24 DIFFUSERS 420 CFM EA. PRICE PDDR PERF. DIFFUSER STAR PATTERN.
  - PROVIDE (2) EXHAUST DIFFUSERS CEP-24 WITH 14' CONNECTION AND FLEX DUCT. PRICE PDDR PERF. DIFFUSER, 445 CFM EA. COMBINE IN 16' DUCT TO EXHAUST TERMINAL.
4. **CONDENSATE PUMP**
  - PROVIDE CONDENSATE PUMP AS SHOWN IN M-703 DETAIL 6, WITH SECONDARY OVERFLOW PIPED TO CORRIDOR. SEE ALSO FIGURE 4 BELOW.
5. **PIPING**
  - CONNECT TO EXISTING 2" CHWSR AND 1" HWSR NEAR SHAFT FOR AHU-1. SEE M-122P FOR REFERENCE. FIELD VERIFY TIE-IN LOCATION. IF STUBS FOR FUTURE DO NOT EXIST, LINE-FREEZE PIPING TO MAKE NEW CONNECTION. USE A SPECIALIZED SUB LIKE TAPMASTERS FOR THIS PURPOSE UNLESS YOU CAN SHOW CASE STUDIES OF PREVIOUS INSTALLATIONS WITH YOUR OWN FIELD CREWS. CONNECT NEW TEES BETWEEN FREEZE CONNECTIONS.
  - CONNECT COILS WITH L-TYPE COPPER, HARD TEMPER, SOLDERED JOINTS. COIL FIT-UP DETAILS. SEE M-501 DETAIL 3.
6. **CONTROLS**
  - PROVIDE SLOW ACTING ACTUATOR FOR SUPPLY AND EXHAUST TERMINAL. PROVIDE ROOM TEMPERATURE SENSOR WITH SETPOINT ADJUST AND LOCAL OVERRIDE AS SHOWN ON M-703 IN RECORD SET, DETAIL 2. PROVIDE 2-WAY CHARACTERIZED BALL VALVE FOR HOT WATER VALVE, CV FOR -5 PSI @ 1 GPM.
  - PROVIDE COOLING COIL CONTROL PER M-703 DETAIL 6. PROVIDE 2-WAY CHARACTERIZED BALL VALVE FOR HOT WATER VALVE, CV FOR -5 PSI @ 5 GPM.
  - TIE CONTROLS INTO EXISTING CONTROLS DATABASE, MATCH EXISTING INTERFACE SCREENS FOR NEW TERMINALS. SHOW ROOM THERMOGRAPHIC ON FLOOR PLAN AND CREATE NEW DEDICATED ROOM SCREEN SHOWING BOTH TERMINALS. TIE ZONE REQUESTS INTO CENTRAL AHU-1 LOGIC FOR DEMAND-BASED PRESSURE AND TEMPERATURE RESET. SEE RECORD SPEC 250000 SECTION 3.15.C, E AND F FOR SEQUENCE OF OPERATIONS. SEE ROOMMARKS IN SPEC.
  - ACCEPTABLE TO COPY CONTROL PROGRAM FROM EXISTING SIMILAR SLOW LAB CONTROLS LIKE VR-1203 AND VE-1203 FOR WATER LAB 229.
7. **POINT-TO-POINT**
  - PROVIDE POINT-TO-POINT (ALSO CALLED END-TO-END) CHECKOUT FORMS FOR CONTROLS SHOWING THAT ALL I/O POINTS ARE OPERATIONAL.
8. **TESTING AND BALANCING**
  - PROVIDE TEST AND BALANCE REPORT SHOWING THE FOLLOWING READINGS (OVERRIDE AHU SUPPLY PRESSURE SETPOINT TO A TYPICAL PEAK VALUE FOUND IN TRENDS FOR THIS PURPOSE, AND MAINTAIN OVERRIDE UNTIL COMPLETE. DO NOT FIX DRIVE SPEED):
    1. AIR TERMINAL CALIBRATION (K FACTOR)
    2. FLOW AT FULLY OPEN TERMINAL
    3. DAMPER POSITION AT DESIGN FLOW
  - PROVIDE SAME READING FOR EXHAUST TERMINAL, WHILE OVERRIDING EXHAUST PLENUM PRESSURE TO MINIMUM SETPOINT FOUND IN TRENDS.



Figure 1: Existing ducts in Room 233



Figure 4: Condensate Pump for cooling coil downstream of VAV terminal

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NO.	DATE	ISSUE DESCRIPTION
1	11/01/2023	CONSTRUCTION DOCUMENTS

**PERALTA OAKS RM 233  
TENANT IMPROVEMENT  
PROJECT**

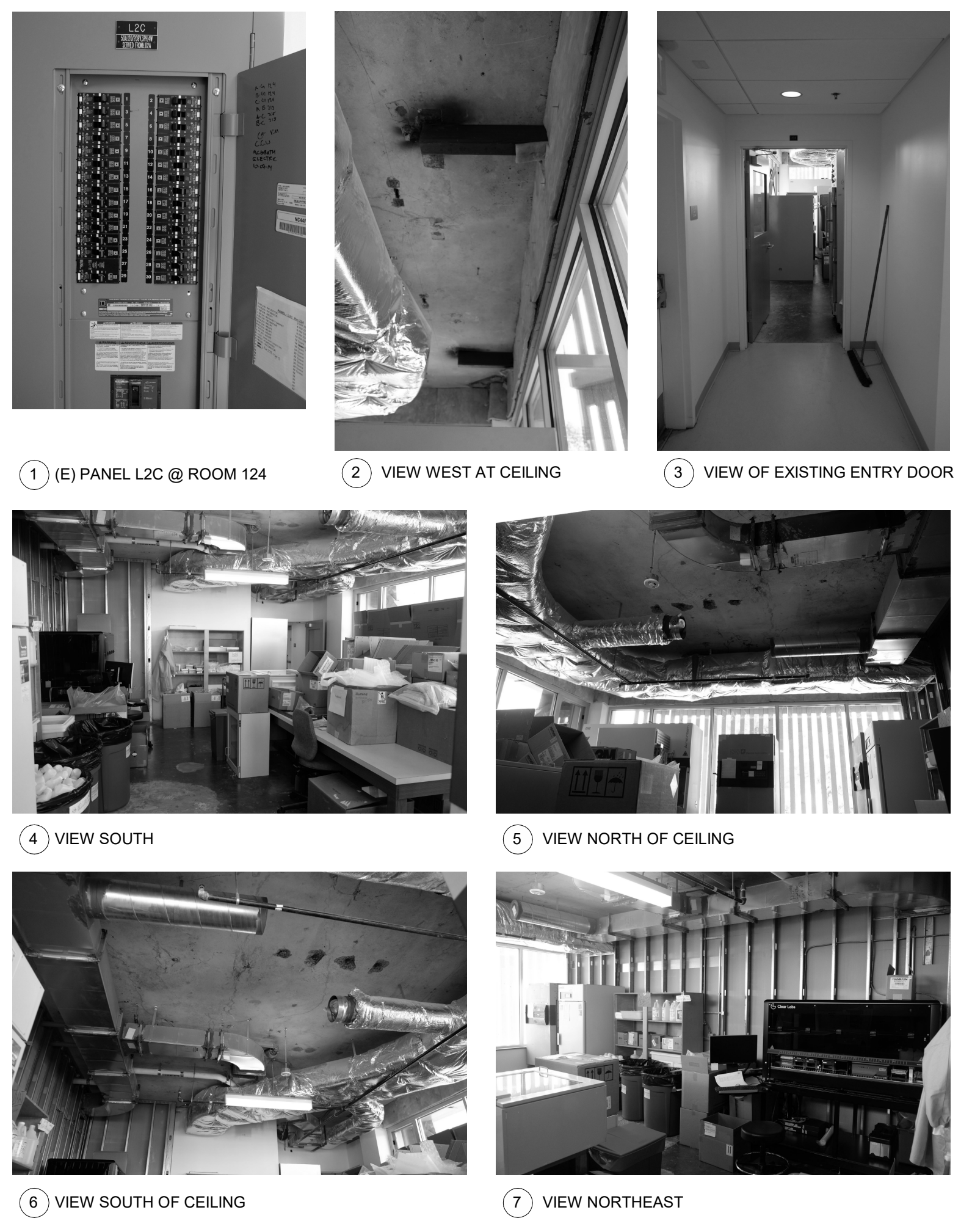
2901 PERALTA OAKS COURT  
OAKLAND, CALIFORNIA 94605

Drawing Title  
**MECHANICAL NOTES**

Issue No.  
**A-003**

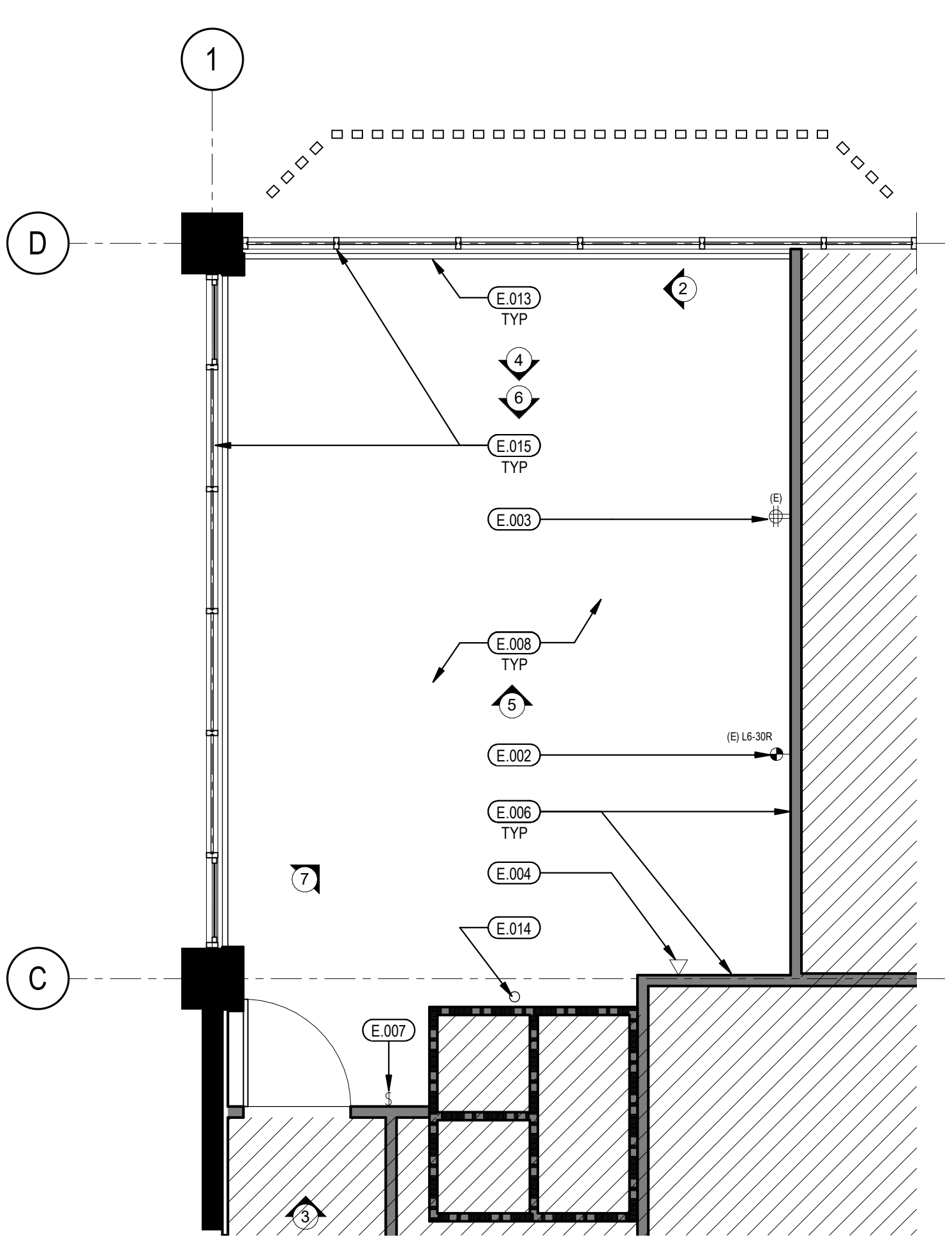
SKA Project Number 21709 Alameda County Project No. 20203



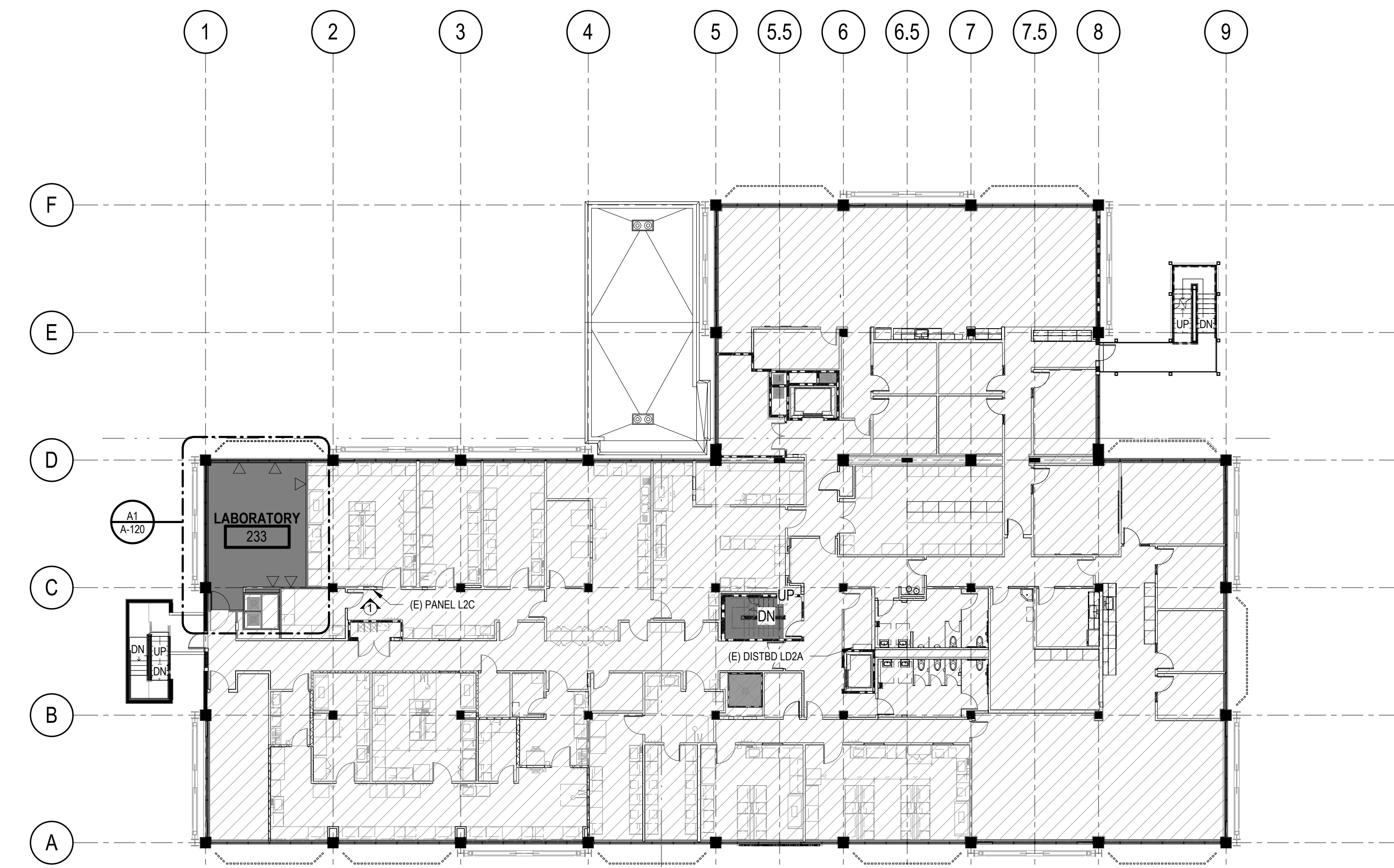


1 (E) PANEL L2C @ ROOM 124  
 2 VIEW WEST AT CEILING  
 3 VIEW OF EXISTING ENTRY DOOR  
 4 VIEW SOUTH  
 5 VIEW NORTH OF CEILING  
 6 VIEW SOUTH OF CEILING  
 7 VIEW NORTHEAST

REFERENCE PHOTOS J16  
 NTS



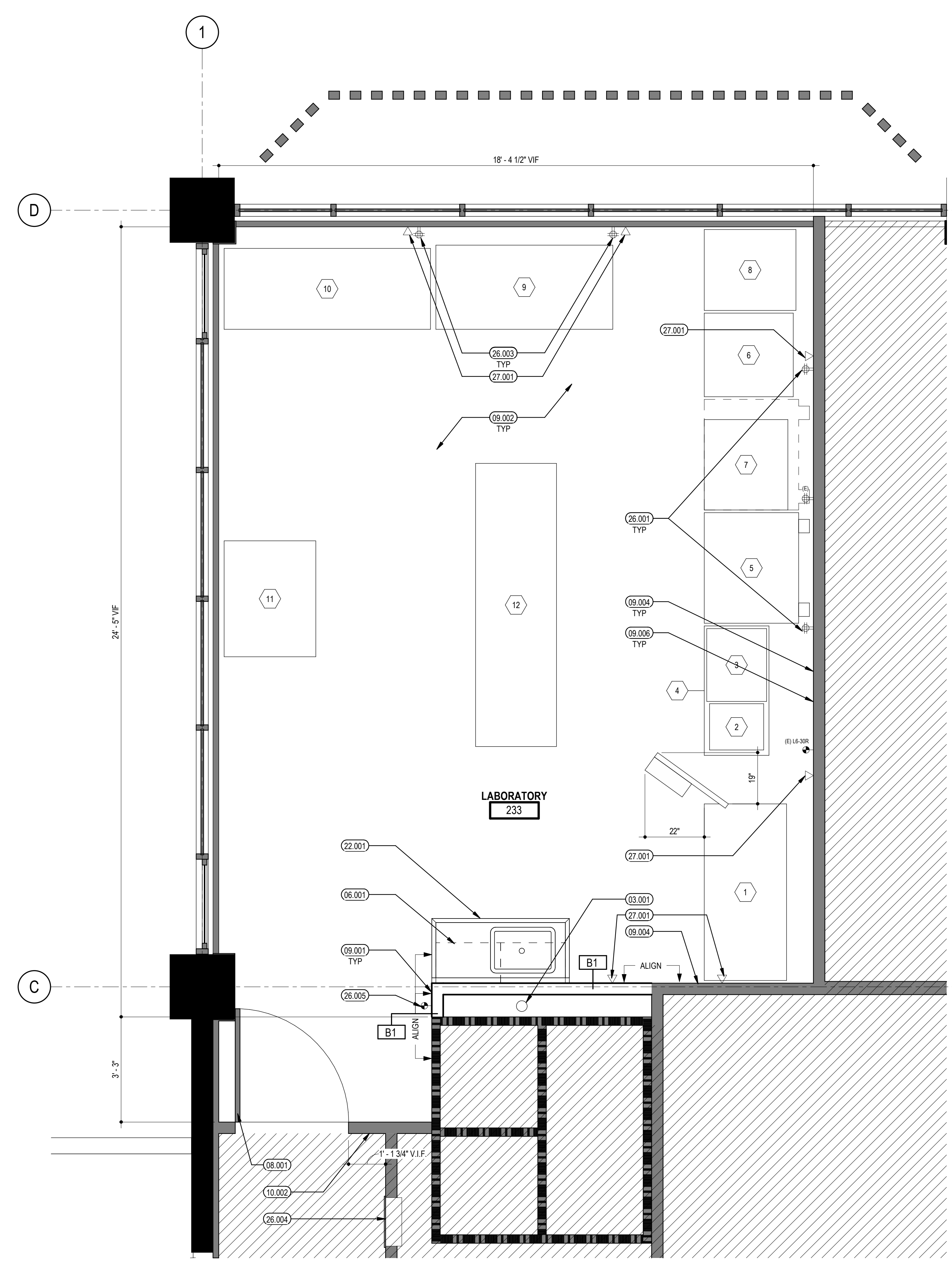
EXISTING FLOOR PLAN J11  
 1/4" = 1'-0"



OVERALL (E) SECOND FLOOR PLAN A11  
 1/16" = 1'-0"

**EQUIPMENT SCHEDULE**  
 (ALL EQUIPMENT ARE OWNER FURNISHED)

1	(E) CLEARLABS MACHINE	(1-W, 208V 2P)	65.5" W X 30.5" D
2	(N) TAPESTATION SYSTEM	(50W, 120V)	17.25" W X 20" D
3	(N) MISEODX MACHINE	(400W, 120V)	27" W X 22.2" D
4	(N) SS WORKING BENCH		48" W X 24" D
5	(E) PHCBI -80 FREEZER	(930W, 120V)	41" W X 39" D
6	(E) PHCBI -40 FREEZER	(385W, 120V)	31" W X 33" D
7	(E) FORMA SCIENTIFIC FREEZER FUTURE: PHCBI -80 FREEZER	(930W, 120V)	33.5" W X 31" D 41" W X 39" D
8	(E) TRAUULSON REFRIGERATOR	(840W, 120V)	30" W X 34" D
9	(N) HAMILTON MICROLAB STAR	(725W, 120V)	65.5" W X 31.2" D
10	(E) ESCO BSC AIRSTREAM	(961W, 120V)	76.5" W X 30" D
11	(E) FLAMMABLE CABINET		43" W X 34" D
12	(E) SS WORKING BENCH		105" W X 30" D



PROPOSED RM 233 FLOOR PLAN A1  
 RE: A11/ A-120 1/2" = 1'-0"

**SHEET NOTES**

- SEE PARTITION SCHEDULE ON A-521
- SEE DEMOLITION AND GENERAL NOTES ON A-001 AND A-002
- CONCEAL ALL NEW UTILITIES (WATER, WASTE, POWER, DATA, ETC.) WITHIN (E), (N) WALLS AND CEILING/PLENUM
- ARCHITECTURAL DRAWINGS SHOW LAYOUT AND GENERAL DESIGN INTENT FOR POWER OUTLETS, DATA SWITCHES, CONTRACTOR TO PATCH & REPAIR SURFACES WHERE (E) CONDITIONS HAVE BEEN REMOVED OR DAMAGED DUE TO DEMOLITION. PATCH & REPAIR TO MATCH (N) ADJACENT OR ADJOINING CONSTRUCTION AS REQUIRED FOR A SMOOTH FINISHED LOOK.

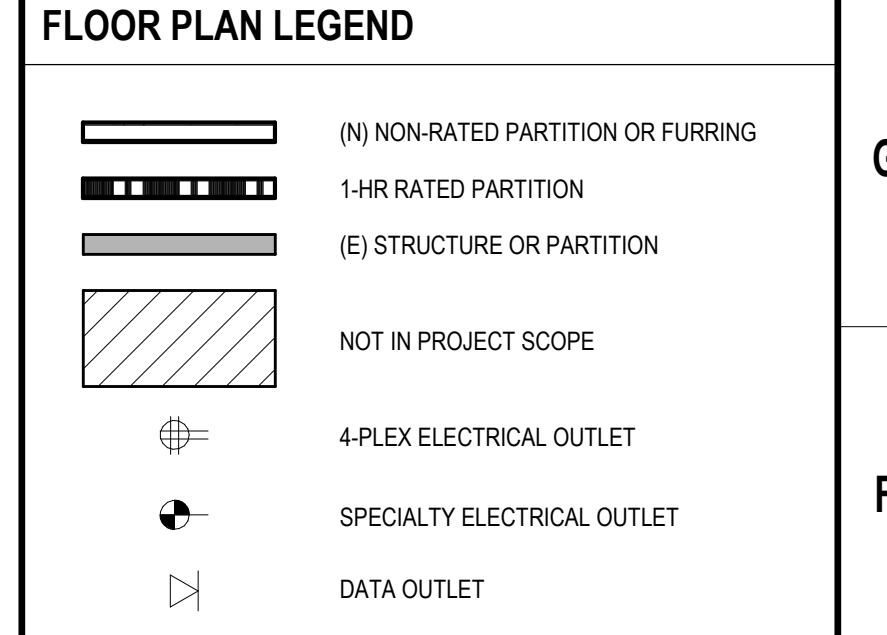
**KEY NOTES**

- CORE DRILL HOLES AT CONCRETE SLAB, AS NECESSARY TO ALLOW FOR PLUMBING CONNECTIONS TO DRAIN, COORDINATE AND VERIFY LOCATIONS USING SPR OF POST-TENSIONED TENDONS REBAR PRIOR TO CORE DRILLING.
- INSTALL (E) UPPER CABINETS ABOVE AND CENTERED ON (N) SINK. PROVIDE BACKING IN WALL PER DTL A84-S21.
- DOOR HARDWARE TO BE COORDINATED WITH OWNER.
- FULL-HEIGHT FURRED WALL. SEE PARTITION SCHEDULE ON SHEET A-521.
- SEAMLESS WELDED VINYL, SWW-1, INSTALLED OVER CONCRETE SLAB.
- PTD GYP BD AT ALL LOCATIONS WHERE STUDS ARE EXPOSED.
- COVERED RUBBER BASE THROUGHOUT ROOM, RB-1.
- PERMANENT ROOM IDENTIFICATION SIGN. SEE A-012 FOR DETAILS.
- FREE-STANDING SS SINK WITH DRAIN BOARD (JUST MANUFACTURING SINK MODEL 28-18-28R). PROVIDE BACKSPASH MOUNTED FAUCET WITH GOOSENECK SPOUT (JUST MANUFACTURING JS-47-TGSA) AND EYEWASH STATION (GUARDIAN MODEL 42LXK). PROVIDE CONNECTION TO (E) HOT AND COLD WATER SUPPLIES ABOVE CEILING. PROVIDE NEW VENT.
- FLUSH-MOUNTED 4-PLEX ELECTRICAL OUTLETS. COORDINATE AND VERIFY ELECTRICAL REQUIREMENTS OF EQUIPMENT.
- FLUSH-MOUNTED 4-PLEX ELECTRICAL OUTLETS. COORDINATE AND VERIFY ELECTRICAL REQUIREMENTS OF EQUIPMENT. FEED NEW OUTLETS LATERALLY FROM THE EAST WALL. REPAIR (E) GYP FINISH AS NECESSARY TO MATCH ADJACENT FINISH.
- NEW OUTLETS TO BE SERVED FROM EITHER PANEL L2C OR A NEW PANEL FROM DISTRIBUTION BOARD L2DA. 30-DAY LOAD READING STUDY NEEDS TO BE DONE ON PANEL L2C TO DETERMINE SPARE CAPACITY. IF NEEDED, LOCATE (N) PANEL 2LE HERE.
- 230V OUTLET. COORDINATE AND VERIFY ELECTRICAL REQUIREMENTS OF EQUIPMENTS. NEMA CONFIGURATION TBD.
- 4-PORT DATA OUTLET. TWO (2) TO BE PROVIDED FOR VOIP PHONE CONNECTION AND TWO (2) TO BE PROVIDED FOR DATA CONNECTION. COLOR OF PORTS AND LABELS TO MATCH (E) FACILITY PORTS. TYP.
- 2-POLE 30A SPECIALTY OUTLET SERVING CLEARLABS EQUIPMENT. TO REMAIN. RECEPTACLE SERVED FROM PANEL L2C.
- QUADPLEX ELECTRICAL OUTLET. TO REMAIN.
- DEMO (E) DATA CABLE FED FROM RM 232.
- PARTITION TO REMAIN. STUDS ARE CURRENTLY EXPOSED WITHOUT GYP BD FINISH.
- DEMO (E) LIGHT SWITCH.
- EXPOSED CONCRETE SLAB. TO REMAIN. PREPARE SLAB TO RECEIVE (N) FLOORING AS PER MANUFACTURER, INCLUDING STRIPPING AND PREP OF SLAB, LEVELING COMPOUND AND SPALL REPAIR.
- SELECTIVELY DEMO (E) GYP BD FINISH AS NECESSARY TO PROVIDE FOR NEW CONDUITS AND OUTLETS.
- CORE THROUGH (E) SLAB FOR (N) WASTE CONNECTION BELOW. LOCATE POST-TENSIONED TENDONS AND REBAR PRIOR TO CORING. TYP.
- STOREFRONT. TO REMAIN.

**FINISH SCHEDULE**

ACT-1	ACOUSTICAL CEILING TILE	MFR: ARMSTRONG	SPEC: DUNE TEGULAR, NO 1777HRC
			SIZE: 2' x 4' x 5/8", COLOR: WHITE
			GRID: 3/16" SUBPANEL, COLOR: WHITE
P-1	INTERIOR PAINT	MFR: KELLY MOORE	COLOR & FIN: OW206-1 APPLE WHITE, EGGSHELL
RB-1	RUBBER BASE	MFR: ROPPE	COLOR: 616 PLATINUM, 4" COVERED BASE
SWW-1	SEAMLESS WELDED VINYL	MFR: ARMSTRONG-MEDINTONE	COLOR: H8301 GRAY LIGHT

MANUAL BLACKOUT SHADES: MECOSHOSHADE MECOHS SYSTEM WIOPAQUE SHADE FABRIC COLOR 0106 DUSK, W/ROOM DARKENING SIDE CHANNELS IN WHITE



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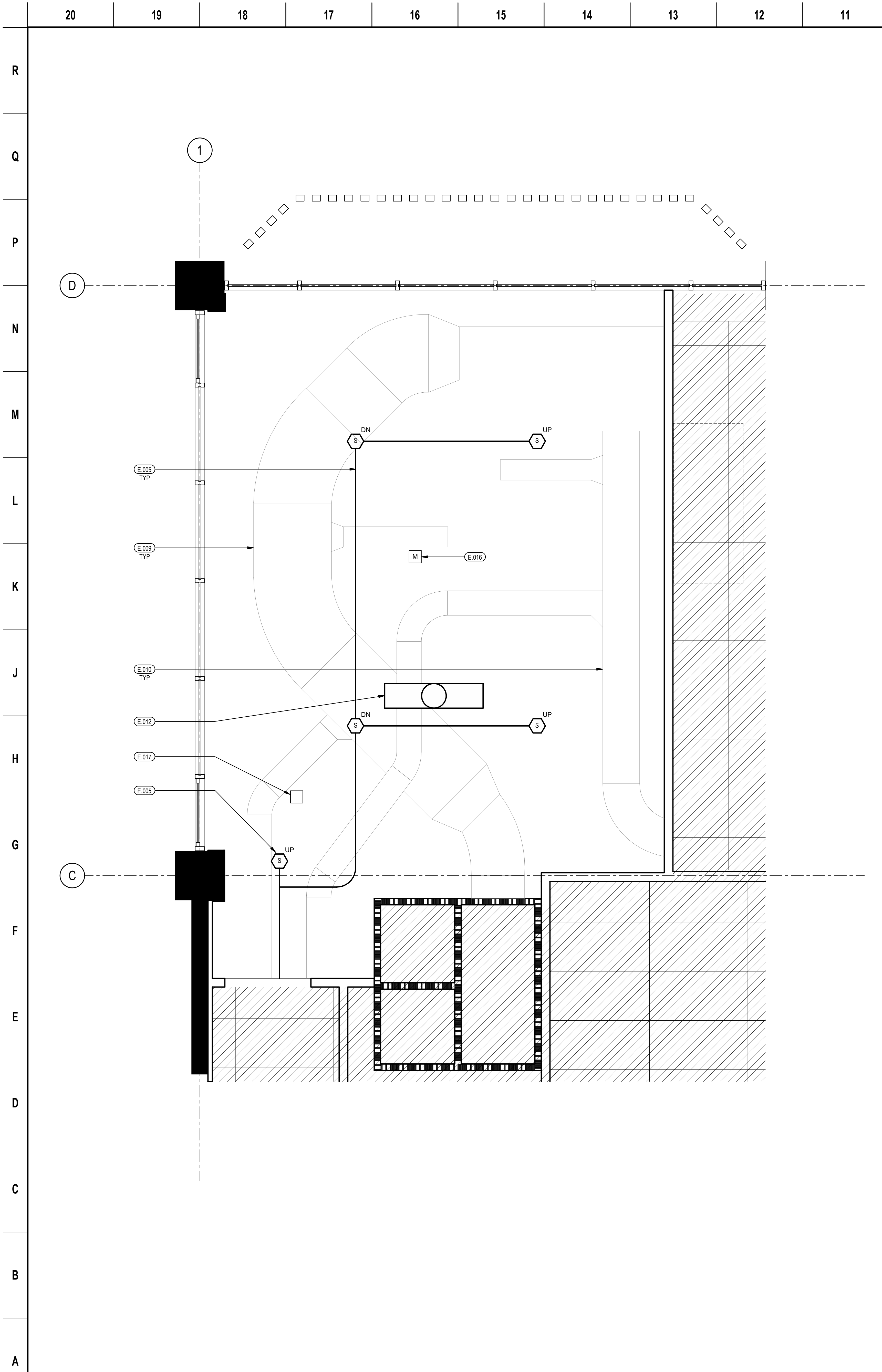
NO.	DATE	ISSUE DESCRIPTION
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**PERALTA OAKS RM 233 TENANT IMPROVEMENT PROJECT**

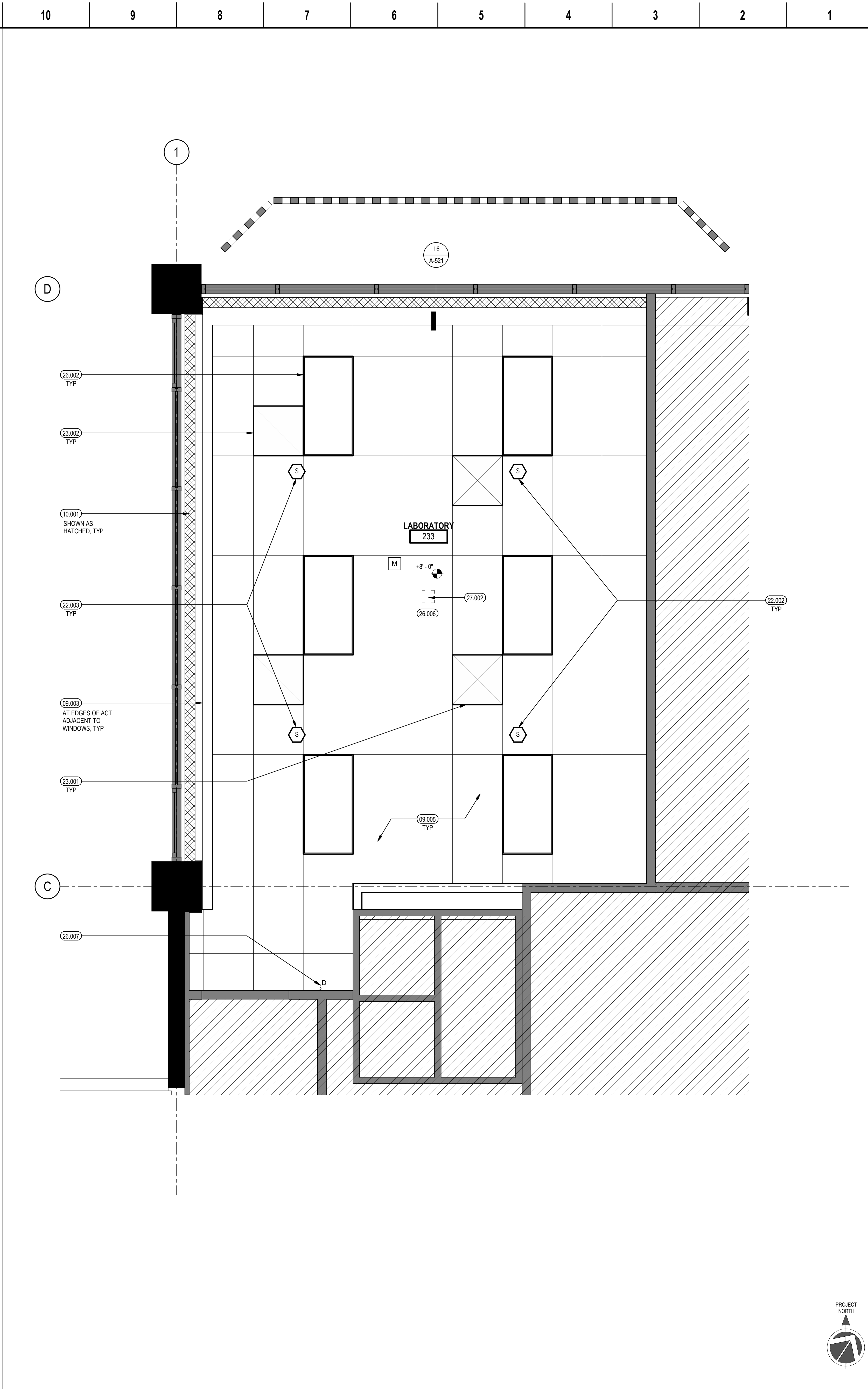
2901 PERALTA OAKS COURT  
 OAKLAND, CALIFORNIA 94605

Project No. 21709  
 Alameda County Project No. 20203

EXISTING AND PROPOSED FLOOR PLANS  
 Drawing Title  
 Drawing No. **A-120**



EXISTING REFLECTED CEILING PLAN **A11**  
1/2" = 1'-0"



PROPOSED REFLECTED CEILING PLAN **A1**  
1/2" = 1'-0"

- SHEET NOTES**
- SEE DEMO AND GENERAL NOTES ON A-002.
  - ALL CEILINGS ARE AT +8'-0" A.F.F., U.O.M.
  - SEE FINISH SCHEDULE ON A-120 FOR CEILING FINISHES.
  - SEE FLOOR PLANS FOR LAB FURNISHINGS AND EQUIPMENT.
  - SPRINKLER SYSTEM IS DESIGN-BUILD. COORDINATE SPRINKLER HEAD LOCATIONS WITH ALL ARCHITECTURAL AND LABORATORY CASEWORK, EQUIPMENT AND FURNISHINGS TO ENSURE PROPER COVERAGE AS REQUIRED BY CODE. REFER TO LAB DRAWINGS. LAYOUT SHOWN HERE IS DIAGRAMMATIC. CONFIRM ACTUAL COVERAGE, HEAD REQUIREMENTS AND TYPE WITH CURRENT CODE CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR APPROVAL.
  - LIGHTS OR CEILING COMPONENTS THAT APPEAR TO BE ALIGNED, ARE TO BE ALIGNED. UCLN. LIGHTS AND CEILING COMPONENTS THAT APPEAR TO BE CENTERED ON A GRID LINE OR WALL, ARE CENTERED ON A GRIDLINE OR WALL. UCLN.
  - MECHANICAL SYSTEM IS DESIGN-BUILD. SEE DESIGN CRITERIA AND ADDITIONAL INFORMATION ON SHEET A-003.
  - FIRE ALARM SYSTEM IS DESIGN-BUILD. ADJUST AND EXPAND SYSTEM AS NECESSARY AND REQUIRED BY THE FIRE MARSHAL.

- KEY NOTES**
- 09.003 (N) PTD GYP BD SOFFIT, P-1
  - 09.005 (N) ACOUSTIC CEILING TILES, ACT-1
  - 10.001 (N) MANUAL ROLL-DOWN SUNSHADES. SEE FINISH SCHEDULE ON SHEET A-120
  - 22.002 REPLACE (E) UPRIGHT SPRINKLER HEAD WITH (N) TWO-DIRECTIONAL UPRIGHT/PENDANT SPRINKLER HEAD. SEE ALSO SHEET NOTES
  - 22.003 REPLACE (E) PENDANT SPRINKLER HEAD WITH (N) TWO-DIRECTIONAL UPRIGHT/PENDANT SPRINKLER HEAD. SEE ALSO SHEET NOTES
  - 23.001 (N) 24" X 24" SUPPLY DIFFUSER TO BE CONNECTED TO (E) MECHANICAL SUPPLY DUCT ABOVE ACT. SEE MECHANICAL NOTES
  - 23.002 (N) 24" X 24" EXHAUST DIFFUSER TO BE CONNECTED TO (E) MECHANICAL EXHAUST DUCT ABOVE ACT. SEE MECHANICAL NOTES
  - 26.002 (N) 24" X 48" RECESSED INDIRECT TROFFER, DAYBRITE #25T-G-254-05-277 277V, LED, 0-10V DIM DRIVER, 3500K, 90 CRI. DESIGN FOR 50 FC AVERAGE LEVEL, IN LAB SPACE
  - 26.006 PROVIDE 120V POWER TO MECHANICAL CONDENSATE PUMP LOCATED ABOVE DROPPED CEILING
  - 26.007 (N) 0-10V DIMMER SWITCH
  - 27.002 PROVIDE (2) DATA CABLES ABOVE CEILING FOR OFOJ WIRELESS ACCESS POINT (WAP)
  - E.005 (E) SPRINKLER LINES TO REMAIN. DEMO (E) SPRINKLER HEAD, TO BE REPLACED
  - E.009 (E) EXPOSED SUPPLY DUCTS, TO REMAIN. REMOVE (E) CAP FOR (N) CONNECTIONS AS NECESSARY. SEE ALSO MECHANICAL NOTES
  - E.010 (E) EXPOSED EXHAUST DUCTS, TO REMAIN. REMOVE (E) CAP FOR (N) CONNECTIONS AS NECESSARY. SEE ALSO MECHANICAL NOTES
  - E.012 DEMO (E) LIGHT FIXTURE
  - E.016 (E) LIGHTING OCCUPANCY SENSOR, TO BE RECONFIGURED TO FIT (N) ACT
  - E.017 (E) LIGHTING CONTROLLER (WATTSTOPPER LIRC-101), TO REMAIN

- LEGEND**
- (N) 2' X 4' ACOUSTICAL CEILING TILE
  - (E) 1-HOUR RATED GYP. BD. WALL
  - (N) 2' X 4' LIGHT FIXTURE
  - (E) SURFACE OR PENDANT MOUNTED LIGHT FIXTURE
  - (N) MECHANICAL DIFFUSER
  - (N) MANUAL ROLL-DOWN SUNSHADE
  - OCUPANCY SENSOR
  - SPRINKLER HEAD

NOTE: If this drawing is not 30"x42" it has been revised from its original size and the scales noted on drawing/details are no longer applicable.

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NO.	DATE	ISSUE DESCRIPTION
1	1/01/2023	CONSTRUCTION DOCUMENTS

**PERALTA OAKS RM 233  
TENANT IMPROVEMENT  
PROJECT**

2901 PERALTA OAKS COURT  
OAKLAND, CALIFORNIA 94605

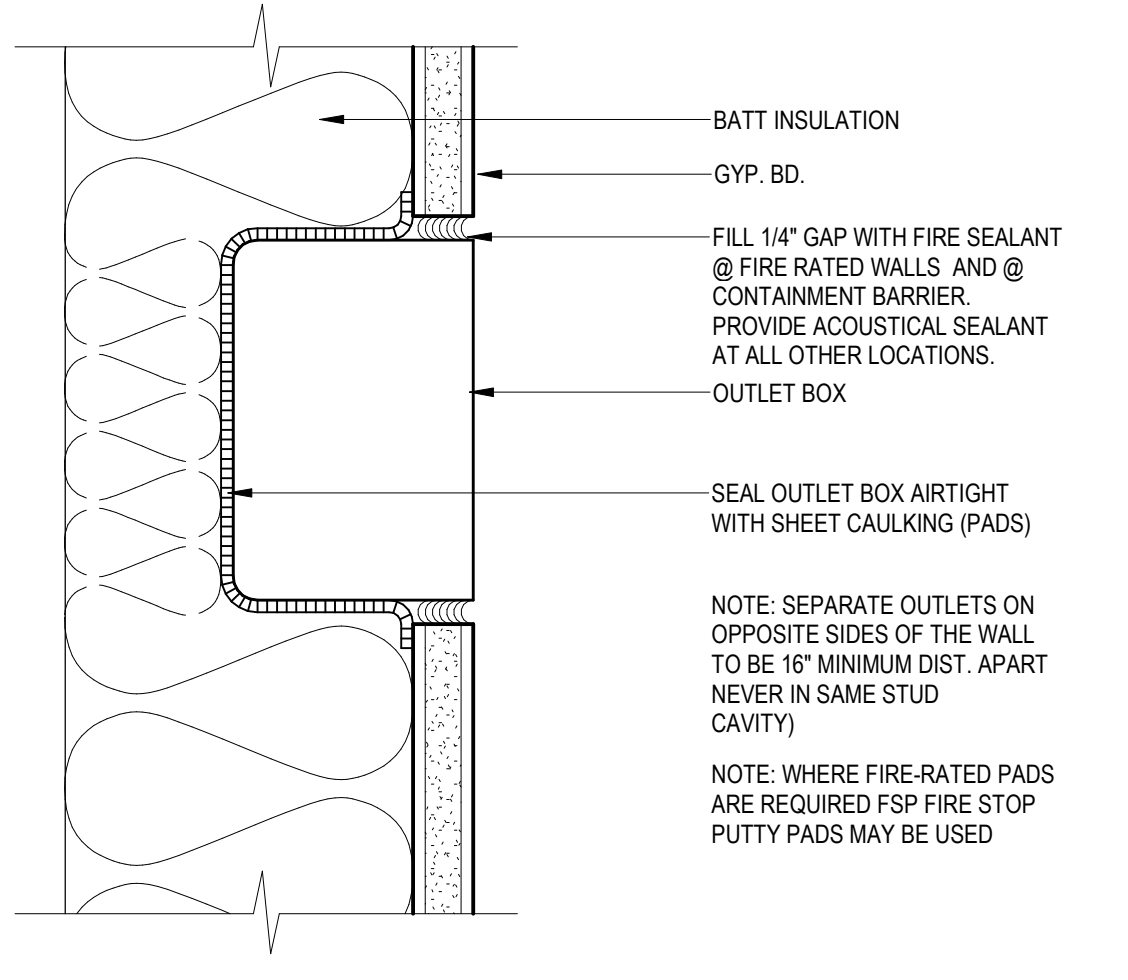
PROJECT NORTH

EXISTING AND PROPOSED RCPs

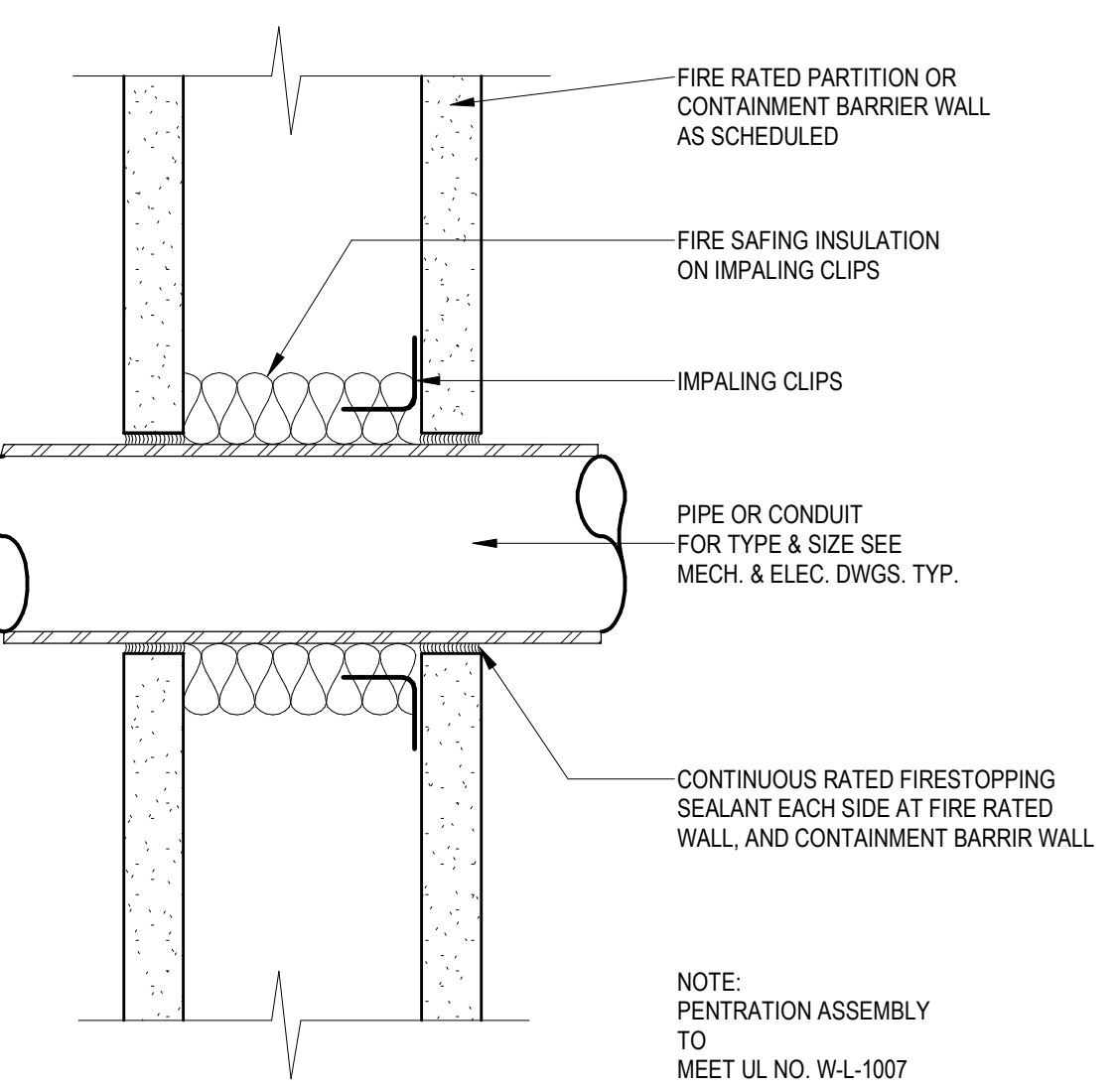
Drawing No. **A-130**

SKA Project Number 21709 Alameda County Project No. 20203

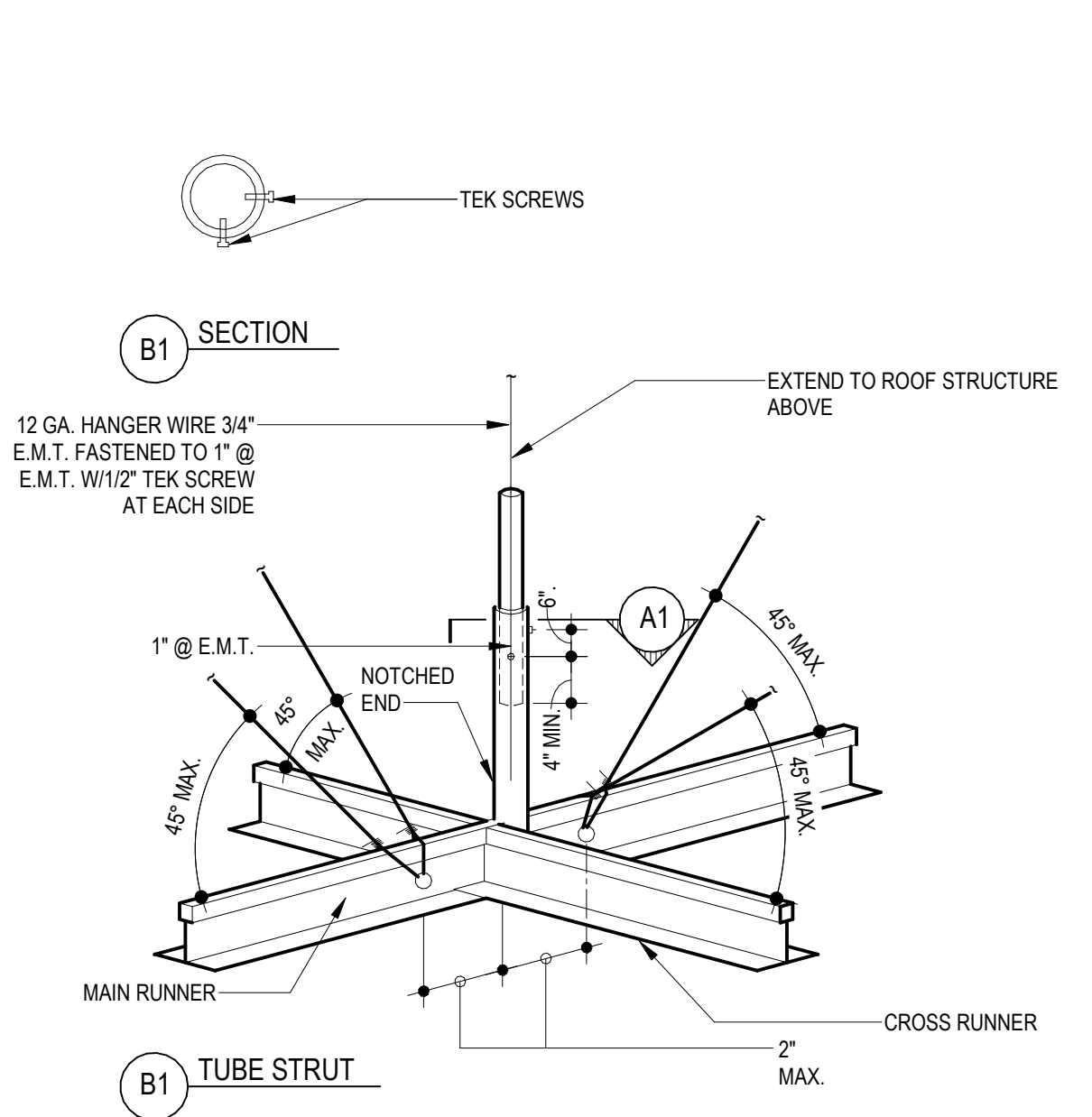
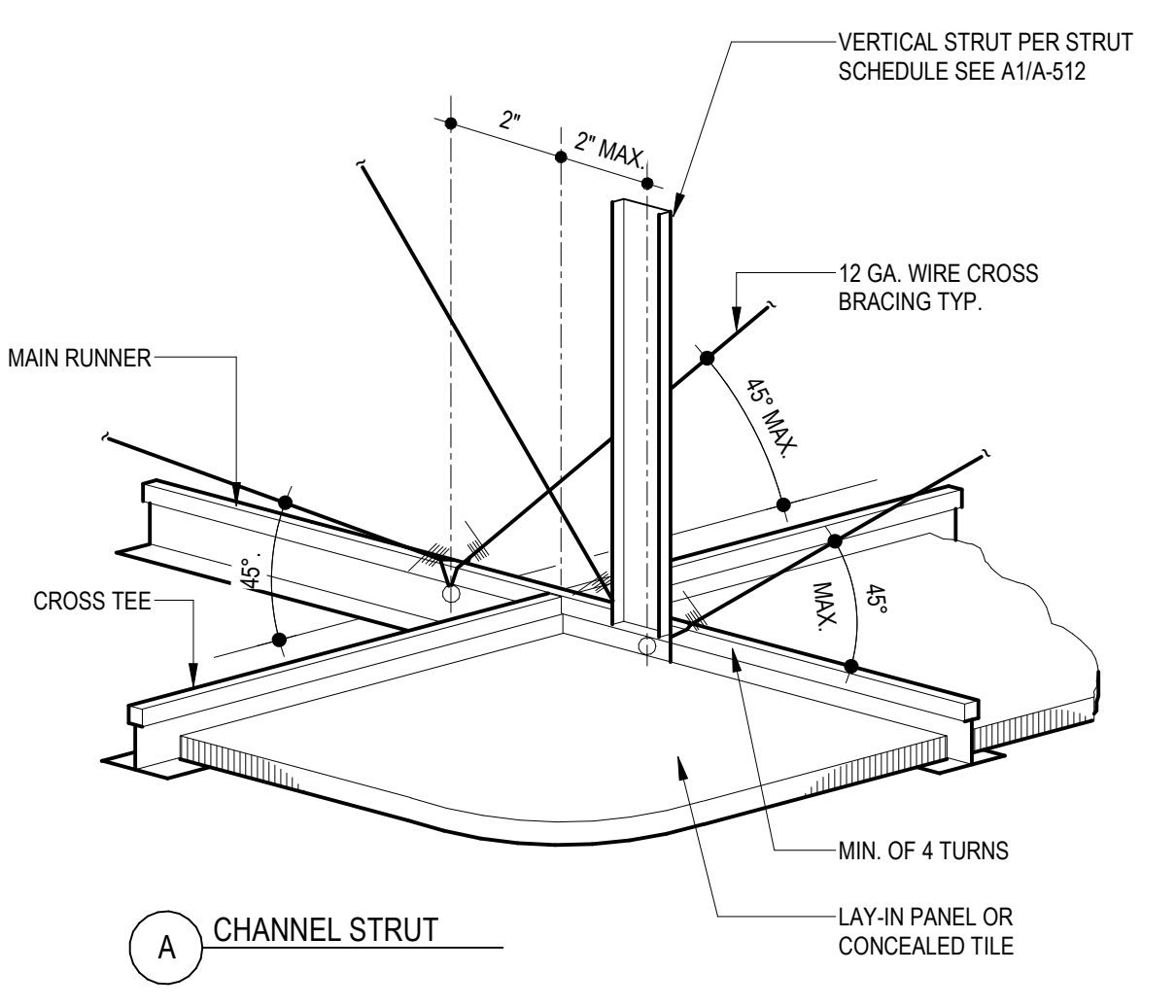




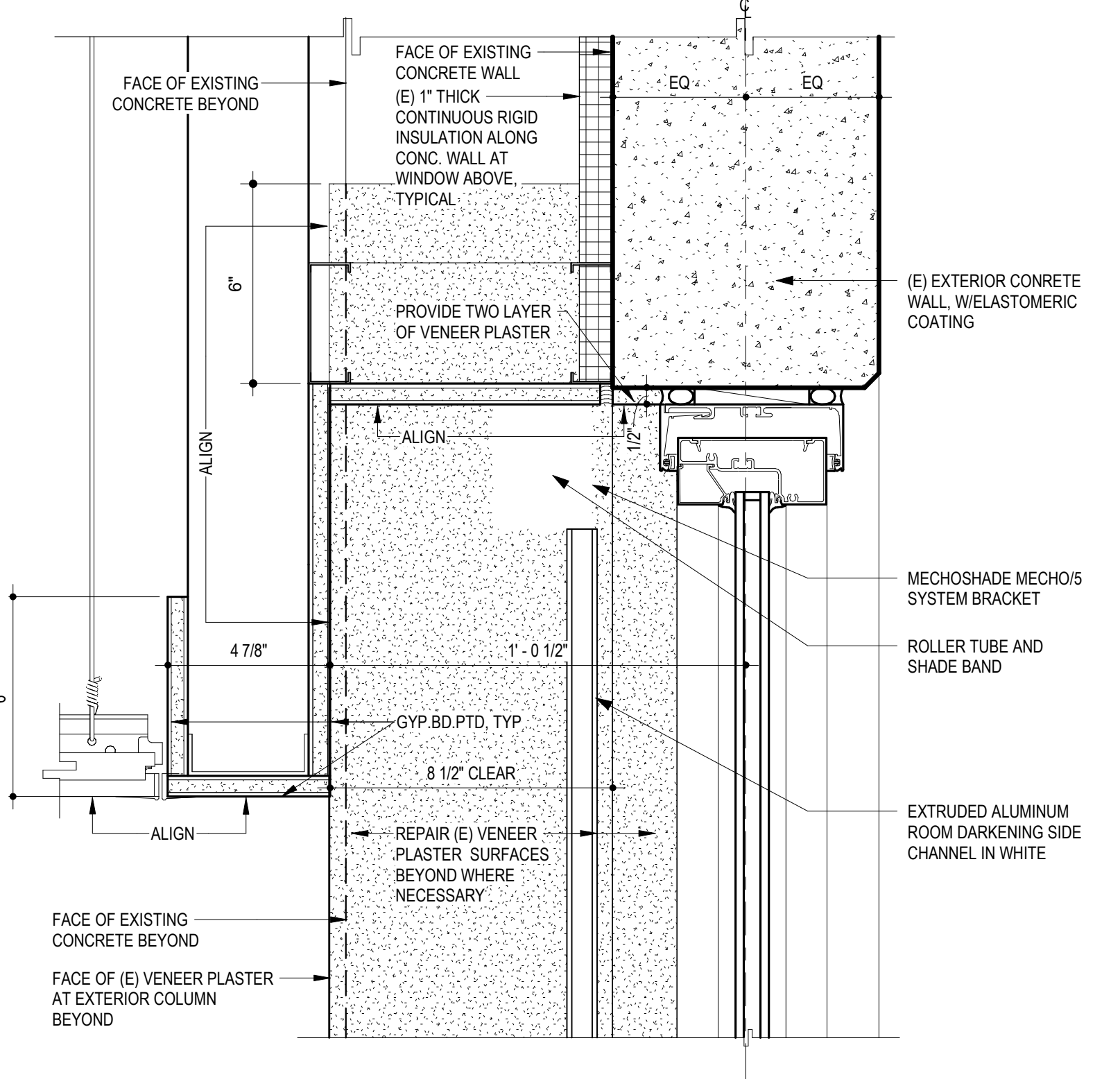
**OUTLET TREATMENT K11**  
6" = 1'-0"



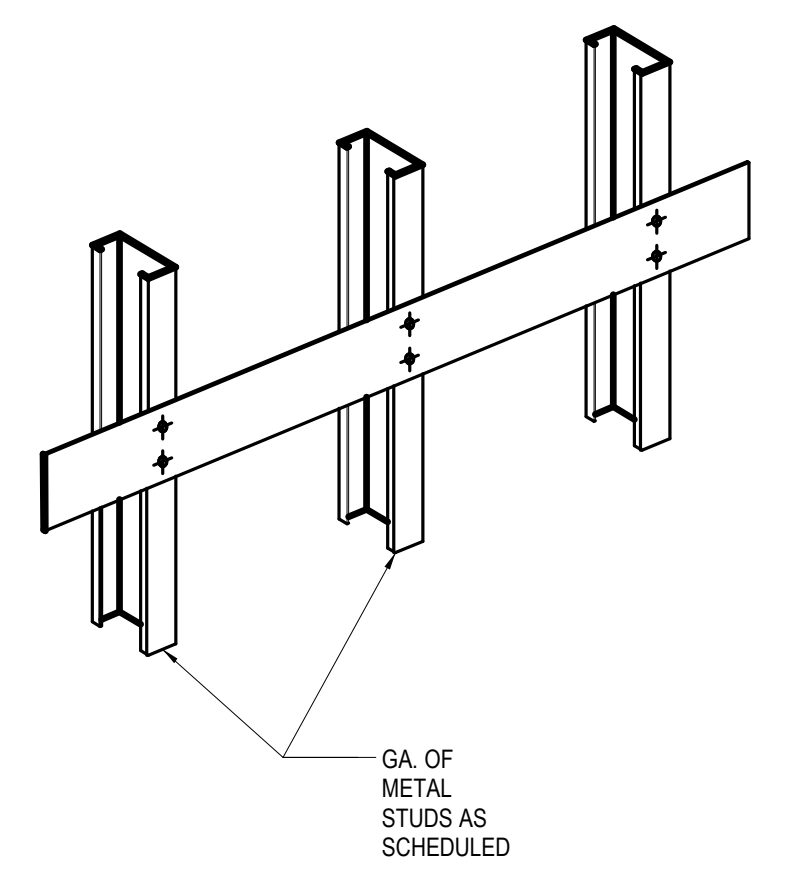
**PIPE PENETRATION J11**  
1 1/2" = 1'-0"



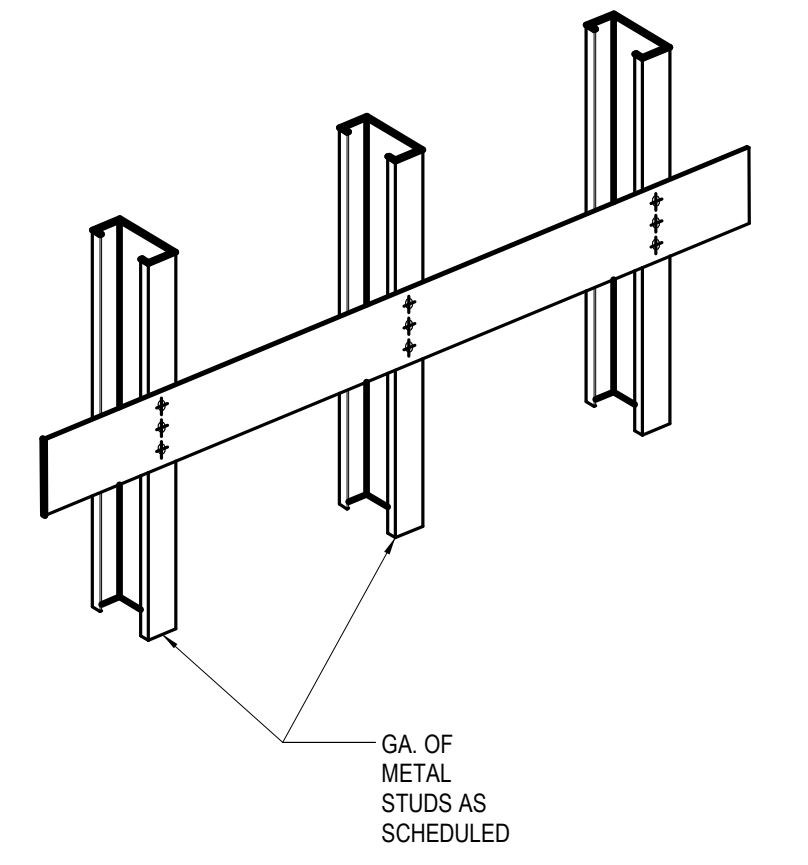
**CEILING-CHANNEL BRACING A11**  
3" = 1'-0"



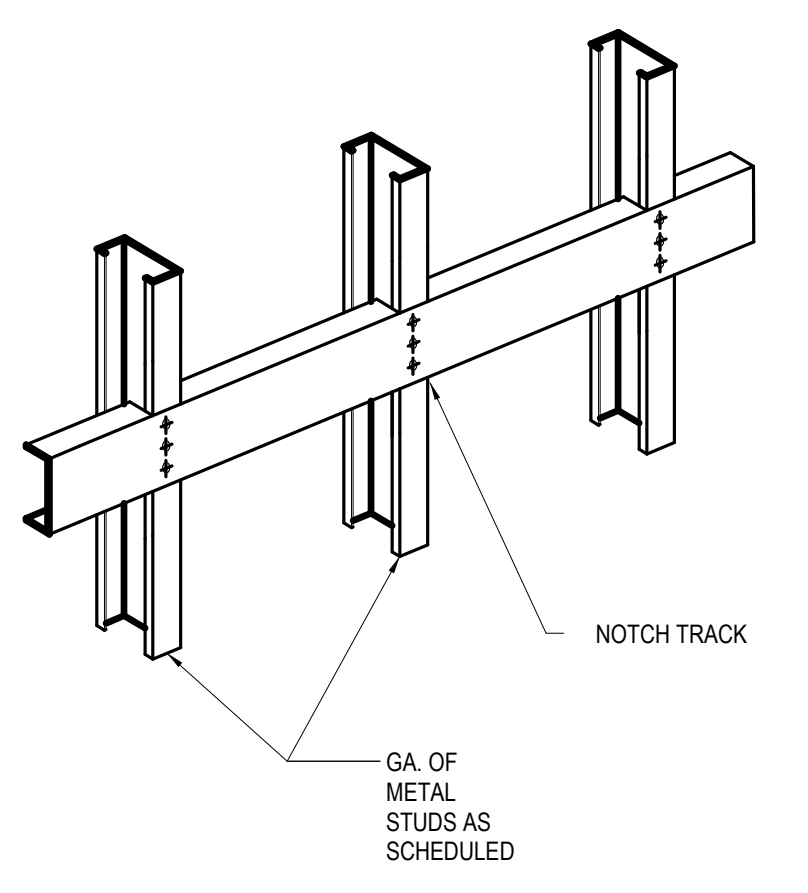
**SOFFIT AT WINDOW WALL L6**  
RE: A11/A-130 3" = 1'-0"



- FOR MISC ITEMS SUCH AS SURFACE-MOUNTED MIRRORS & TOWEL DISPENSERS, WASTE RECEPTACLES, FIRE EXTINGUISHERS, ETC., WEIGHING LESS THAN 50 LBS/LF
- SEE PARTITION TYPES FOR STUD SIZE.
- VERIFY LENGTH, HEIGHT, LOCATION, & QUANTITY OF BACKING PLATES REQ'D WITH APPROPRIATE MANUFACTURERS & TRADES.
- USE 16 GA X 6" STRAP P FASTENED TO STUD WITH (2) #12 SHEET METAL SCREWS.
- SPAN BACKING PLATE OVER 3 STUDS MINIMUM.
- ATTACH ITEMS TO BACKING PLATE WITH #12 SELF-TAPPING SHEET METAL SCREWS, U.O.N.

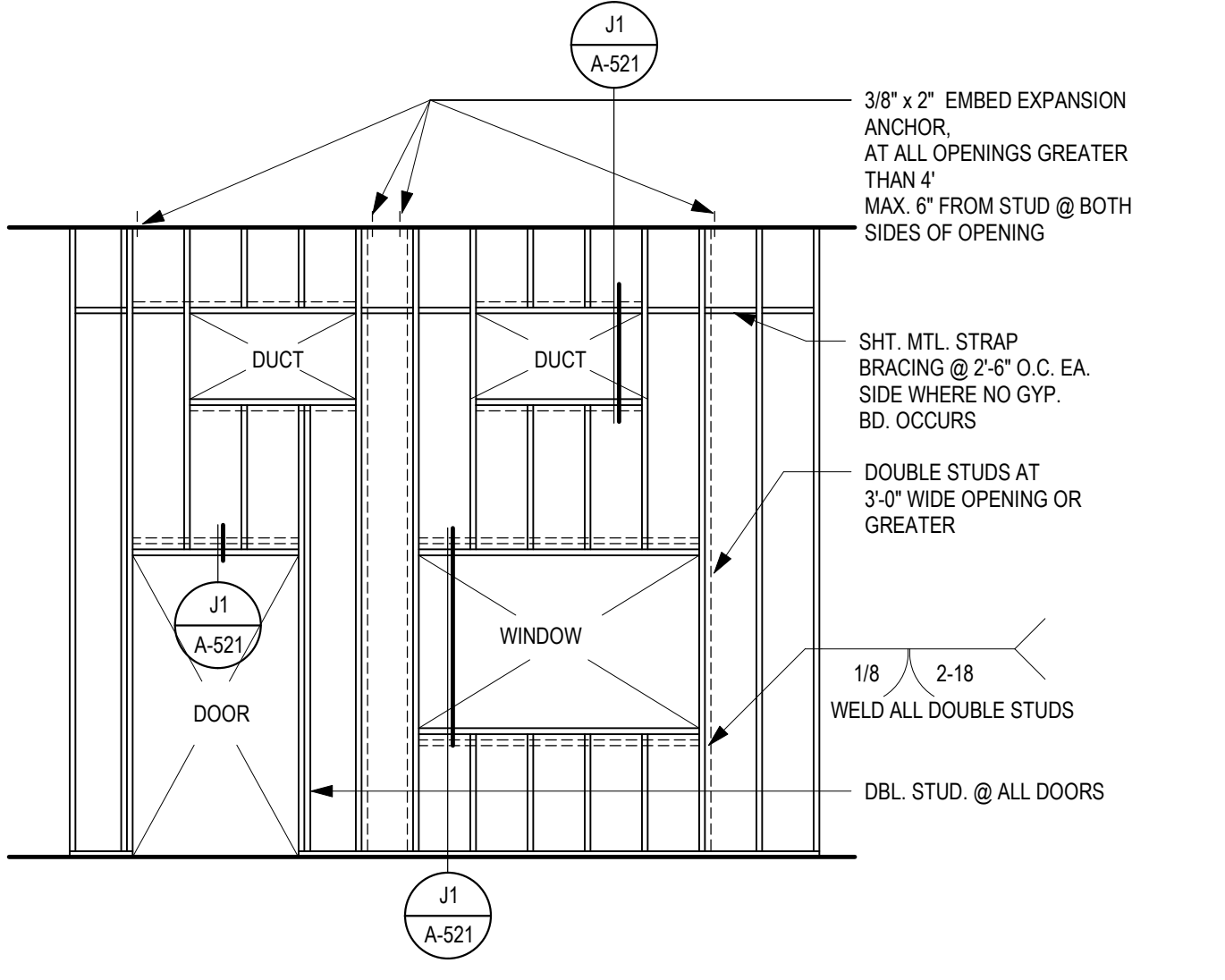


- FOR BASE CABINETS, FULL HEIGHT CABINETS, RUB RAILS, HAND RAILS, LOCKERS, ET CETERA, WEIGHING LESS THAN 100 LBS/LF
- SEE PARTITION TYPES FOR STUD SIZE.
- VERIFY LENGTH, HEIGHT, LOCATION, & QUANTITY OF BACKING PLATES REQ'D WITH APPROPRIATE MANUFACTURERS & TRADES.
- FASTEN 16 GA X 6" STRAP P TO EA STUD W/ (3) #12 SHEET METAL SCREWS.
- SPAN BACKING PLATE OVER 3 STUDS MIN.
- ATTACH ITEMS TO BACKING PLATE WITH #12 SELF-TAPPING SHEET METAL SCREWS, U.O.N.

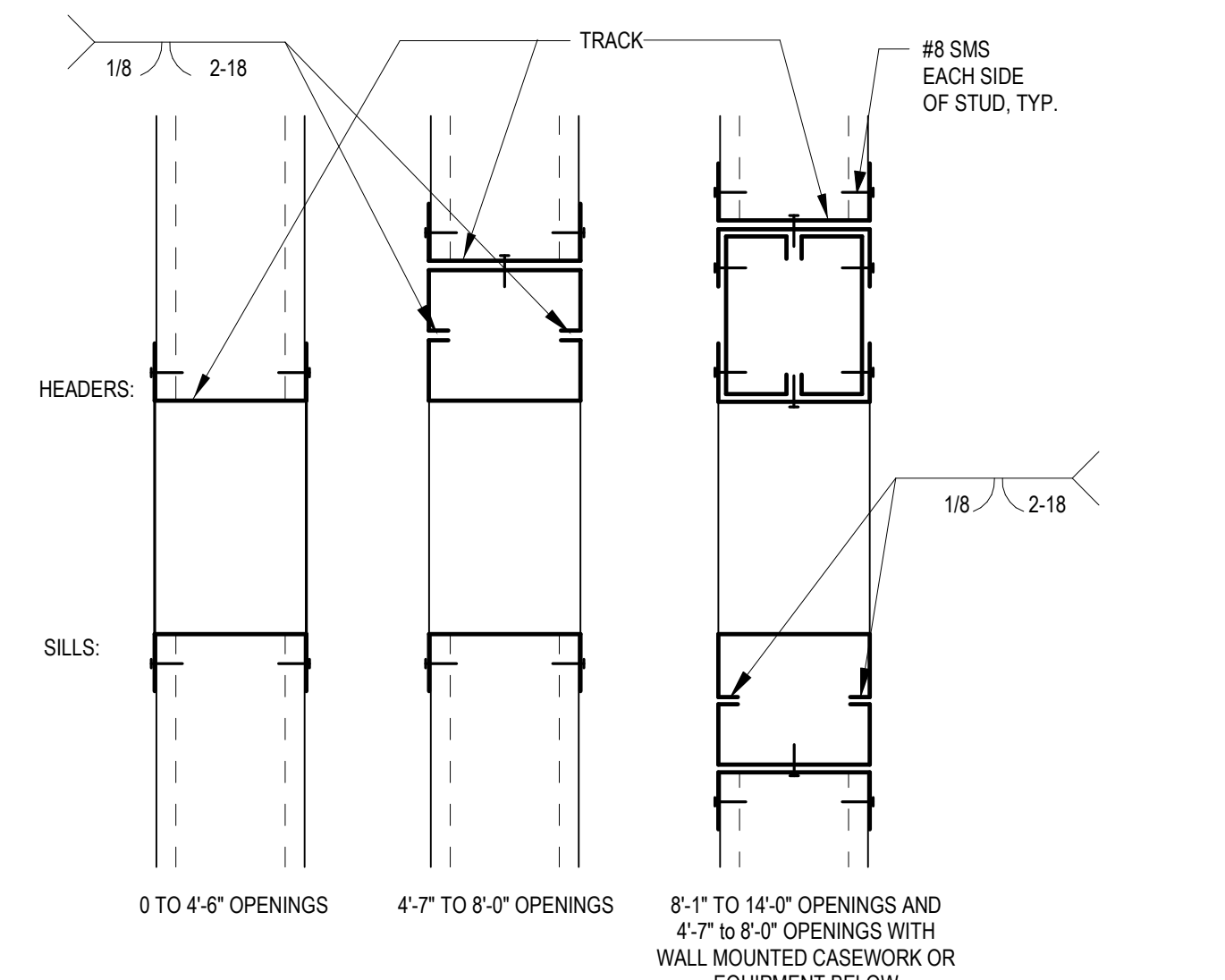


- FOR ALL UPPER WALL-HUNG CABINETS, GRAB BARS, WALL-MOUNTED EQUIP & MISC ITEMS WEIGHING LESS THAN 200 LBS./FOOT. REINFORCEMENTS FOR GRAB BARS SHALL BE ABLE TO SUPPORT A MIN. OF 250 LBS.
- FASTEN 16 GA X 6" NOTCHED METAL TRACK TO EA STUD W/ (3) #12 SHEET METAL SCREWS WITH 14 THREADS PER INCH AT EACH END, TYP. SIZE 1"
- SEE PARTITION TYPES FOR STUD SIZE.

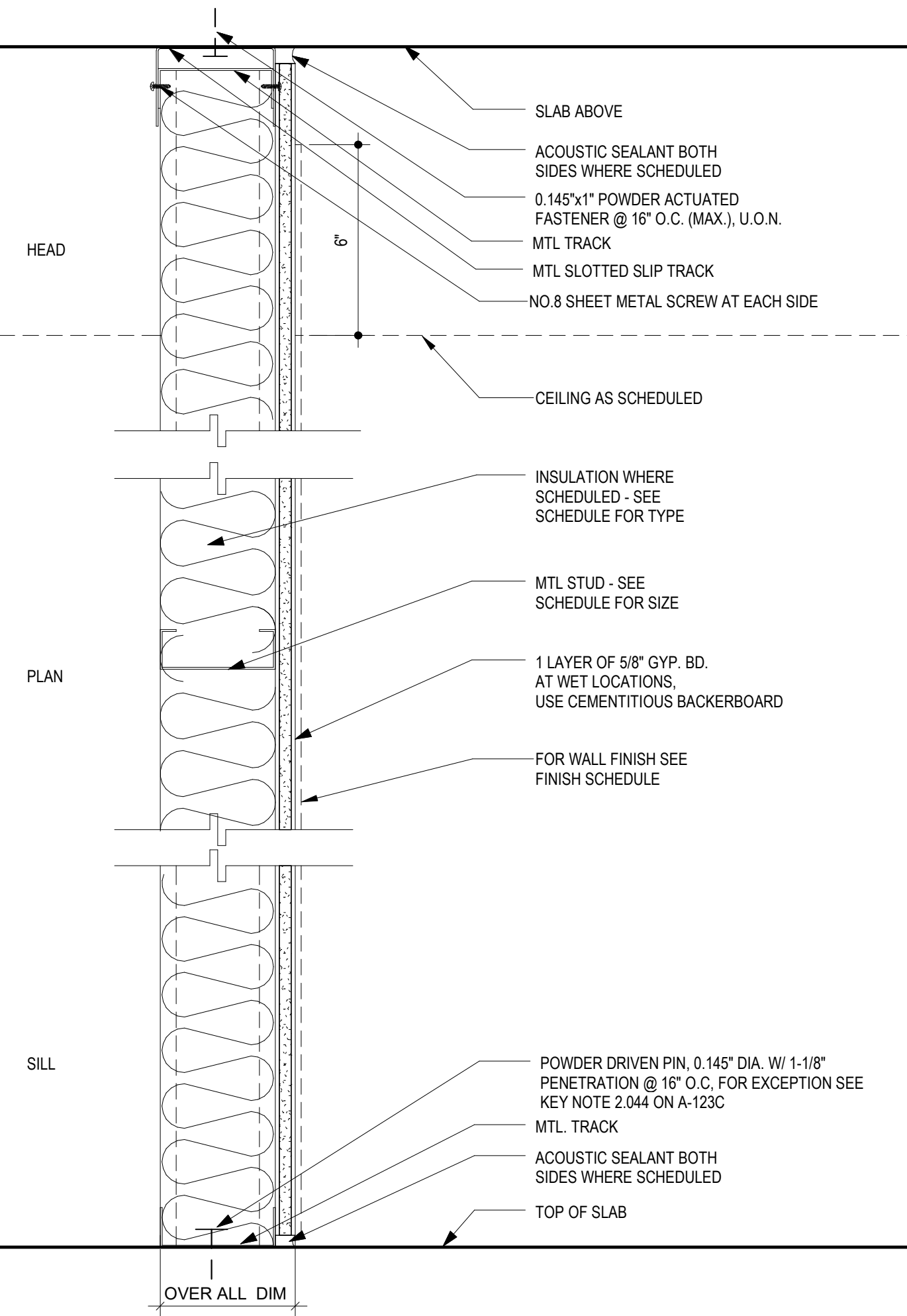
**BACKING PLATE DETAILS A6**  
3" = 1'-0"



**TYP. FRAMING DETAILS N1**  
1/4" = 1'-0"



**TYP. HEADERS AND SILLS J1**  
RE: N1/A-521 3" = 1'-0"



WALL TYPE	STUD SIZE	CAGE	WIDTH	FIRE RATING	ULF	INSULATION TYPE	NOTES
B1	6"	16 GA.	4 1/4"				FULL HT STUDS

**B**

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	11/01/2023	CONSTRUCTION DOCUMENTS

**PERALTA OAKS RM 233 TENANT IMPROVEMENT PROJECT**  
2901 PERALTA OAKS COURT  
OAKLAND, CALIFORNIA 94605

Drawing Title  
**INTERIOR DETAILS - WALL & CEILING DETAILS**  
Drawing No.  
**A-521**

SKA Project Number 21709 Alameda County Project No. 20203